



**NOTICE OF PUBLIC MEETING
WEDNESDAY, MAY 6, 2026 – 6:00 P.M.
BOARD OF ADJUSTMENT MEETING
AGENDA**

- I. MEETING CALLED TO ORDER
- II. ROLL CALL
- III. APPROVAL OF MINUTES: APRIL 1, 2026
- IV. REQUEST FOR VARIANCE BY JASON AND MICHELLE FANK

An appeal requesting approval to construct a new home and detached two-car garage at their residence located at 785 Bismark Ave. The proposed location of the home would violate the stream buffer protection requirements as defined by **Chapter 462 of the Glendale Zoning Code**. Additionally, the applicants are requesting a variance from Section 400.140(A)(3) that requires a front yard setback of 42.5' from the front property line.

- V. MISCELLANEOUS
- VI. ADJOURNMENT

This meeting will be held at the Glendale City Hall Auditorium at 424 N. Sappington Road and will be open to the public.

Gabrielle Wesche

Gabrielle Wesche
Community Engagement Officer

POSTED: April 16, 2026 – 4:10 P.M.



MINUTES
BOARD OF ADJUSTMENT MEETING
April 1, 2026 – 6:00 p.m.

CALL TO ORDER

A meeting of the Board of Adjustment of the City of Glendale was held on Wednesday, April 1, 2026. Chairman Lane called the meeting to order at 6:00 p.m.

ROLL CALL

Members Present

John Bugee
Mark Hewlett
Chairman Tom Lane
William Smit

Members Absent

Susan Schoen

Alternate Members Present

Danny Ramirez

Also present were Frank Johnson, City Administrator; Gabby Macaluso, Community Engagement Officer; City Attorney, Kate Henry; and Court Reporter, Seth Arndt.

APPROVAL OF MINUTES

Moved by Mr. Bugee, seconded by Mr. Hewlett, and unanimously carried, to approve the minutes from the March 12, 2026 meeting as submitted.

**VARIANCE REQUEST –
Accessory Building Setback
Encroachment for Shed – Paul
and Kimberly Smelcer, 994
Kirkham Ave.**

Paul Smelcer, the owner of 994 Kirkham Ave. was sworn in by Court Reporter Seth Arndt. Mr. Smelcer presented the project to the Board of Adjustment.

Mr. Smelcer explained that his proposed shed is 8 feet wide and 10 feet deep, and that he would like to locate the shed in the rear right corner of the yard, approximately 18 inches from the rear property line and 18 inches from the side property line.

Mr. Smelcer explained that he needed this variance due to the following factors:

1. Placing the shed in any other location would require removal of a large oak canopy tree along the back fence line, which he wishes to preserve.
2. The presence of an existing underground sprinkler system and sprinkler lines elsewhere in the rear yard, which would need to be dug up and relocated if the shed were placed in a different location.
3. Other locations in the yard would require relocating a children's swing set and would reduce available play space for his three young children.

Mr. Smelcer also noted that they have observed other neighbors on Kirkham Ave. with sheds, chicken coops, and trampolines that appear to be within the accessory building setbacks.

Ms. Henry entered into the record the following exhibits:

1. The application for the variance and additional materials and attachments numbering 12 pages.
2. Notice of variance request and the list of recipients who have received notice of the hearing.
3. The list of property addresses to which the notice was mailed.
4. The City of Glendale's zoning code.

The Board of Adjustment members discussed the applicant's request and asked questions to determine how far the shed's roof would extend above the top of the fence and how far the fence sits from the property line. Mr. Smelcer said two feet and two inches, respectively.

Mr. Ramirez asked Mr. Smelcer if he knew the location of his sprinkler line. Mr. Smelcer said not exactly, but he knows that a sprinkler head is located in the back corner of the yard.

Mr. Smelcer said he wants to replicate the positioning of his neighbor's shed on his property. Mr. Johnson clarified that the neighbor's shed is not compliant with the City's zoning code.

Mr. Hewlett asked what the purpose of the 6-foot setback for accessory buildings is. Mr. Johnson noted that it was likely intended to address large accessory buildings like garages.

Mr. Ramirez noted that the factors outlined by Mr. Smelcer as justification for his variance are not proof of a hardship imposed by the zoning code. Mr. Johnson confirmed that the subject property is a regularly shaped lot with a size and proportions that are very standard for lots in the R-2 District.

The applicant's contractor, who was participating in the meeting remotely through Zoom, noted that the shed could be placed on runners that would make the shed easier to move if needed.

Mr. Ramirez made a motion to approve the variance.

The proposed resolution is as follows:

WHEREAS, the Board of Adjustment of the City of Glendale, Missouri, does find and determine that the above-described property is in Zoning District R-2, which said district requires that any accessory building not be located closer than 6 feet from the side and rear property lines; and

WHEREAS, the applicant desires to construct an 80-square-foot shed that would be located 30 inches from the western side property line, which would be in violation of the 6-foot setback required by the Zoning Code of the City of Glendale Section 400.070(A)(3); and

WHEREAS, the Board finds that the property on which such violation is proposed possessed the following extraordinary or exceptional situations not generally prevalent in the neighborhood which would result in peculiar and exceptional practical difficulties or exceptional and undue hardship on the owner of such property as set out below, if the strict application of the zoning regulations as to setback were followed:

The subject property has large trees, a children’s playset, and an underground sprinkler system that prevents the placement of the shed in such a way that it complies with the setbacks while allowing for space for the beneficial use of the property.

NOW THEREFORE BE IT RESOLVED, that the appeal of the above applicant for a variance in the strict application of the zoning regulations is approved based on the findings of fact set out above.

The applicant is hereby authorized to construct an 80-square-foot shed pursuant to the plans dated March 10, 2026, that would be located 30 inches from the western side property line.

The Building Commissioner of the City is instructed to act accordingly.

The motion was seconded by Mr. Bugee.

The voice vote was as follows:

- | | |
|-------------------|-------|
| John Bugee | “Aye” |
| Mark Hewlett | “Nay” |
| Chairman Tom Lane | “Aye” |
| William Smit | “Aye” |
| Danny Ramirez | “Aye” |

The motion passed with a vote of 4 Ayes and 1 Nay.

Mr. Ramirez asked Mr. Johnson if the City would take any action about the non-compliant shed located next door to the Smelcer property.

Mr. Johnson expressed concern about doing so because there are many properties with non-compliant sheds. He noted that these codes are being analyzed and may be changed in the update to the City’s zoning code, which is expected to be completed later this year.

ADJOURN

Mr. Hewlett made a motion to adjourn the meeting. The motion was seconded by Mr. Ramirez and unanimously carried to adjourn the meeting at 6:35 p.m.



785 Bismark Avenue – Stream Buffer Variance Request (3rd Submittal)

City of Glendale, Missouri

To: City of Glendale – Board of Adjustment

Subject Property Address: 785 Bismark Avenue, Glendale, Missouri

Re: Variance Request – Stream Buffer Intrusion Related to Rock Hill Creek

Dear Members of the Board of Adjustment,

This letter is submitted in support of a **revised variance request** for the property located at 785 Bismark Avenue, related to the required stream buffer protection associated with Rock Hill Creek.

Since our previous submittal, the project team has continued to work closely with Sterling Engineering and City staff to further refine the site plan in response to comments and to reduce impacts within the stream buffer to the greatest extent practicable.

1. Site Characteristics & Ongoing Hardship

The subject property is a legally platted, residentially zoned lot intended for single-family use. The proposed home design continues to comply with all other applicable City of Glendale requirements, including setbacks, height, lot coverage, and floor area ratio.

As outlined previously, the hardship is created by a unique combination of site conditions:

- The **alignment of Rock Hill Creek**, which traverses the rear of the property at an angle
- The **required stream buffer and additional setback**, significantly limiting buildable depth
- **Steep topography**, with approximately 18–22 feet of elevation change
- **Standard zoning and access requirements**, including driveway feasibility

Together, these conditions compress the buildable area toward the front of the lot, leaving insufficient depth to construct a reasonably sized residence without limited intrusion into the buffer setback area.

These conditions are inherent to the property and are not self-created.

2. Location of Creek & Buffer Impact

The creek's diagonal alignment across the rear of the property creates an atypical constraint not generally present on surrounding parcels. As a result, the buildable envelope is disproportionately restricted compared to similarly zoned lots along Bismark Avenue.

No improvements are proposed within the **primary 25-foot vegetative buffer**, and the creek corridor and top-of-bank will remain undisturbed.

The variance request applies only to **limited improvements within the additional 25-foot setback area**, including:

- A portion of the rear foundation
- Associated grading necessary for safe construction
- A retaining wall system for slope stabilization

3. Revisions Since Previous Submittal

In response to prior feedback, the site plan has been further refined to reduce overall impact, including:

- **Additional shifting and refinement of the building footprint** to reduce encroachment
- **Further grading adjustments** to better align with existing contours and minimize disturbance
- **Reduction in overall disturbance limits where feasible**
- **Refinement of stormwater management strategies** to improve runoff control
- Continued incorporation of **stabilization measures**, including riprap and erosion control

These revisions reflect a continued good-faith effort to minimize intrusion while maintaining a functional and code-compliant residential design.

4. Evolution of Site Design Across Submittals

To further illustrate the extent of revisions and the project team's continued effort to minimize impacts, we have included prior submittal exhibits for comparison, including:

- **Exhibit 1 – Site Plan (Original Submittal)**
- **Exhibit 2 – Site Plan (Second Submittal / Variance Review Plan)**
- **Exhibit 3 – Site Plan (Current Revised Submittal – 04/15/2026)**

Across these iterations, the site design has undergone significant refinement, particularly with respect to the location of the residence, foundation elevation, and retaining wall in relation to the stream buffer.

- **Initial Submittal:**
The original layout included a retaining wall and grading approach that resulted in greater intrusion within the regulated buffer areas due to the constraints of the lot and topography.
- **Second Submittal:**
In response to feedback, both the **home and retaining wall were shifted forward and pulled closer together**, reducing the extent of encroachment and limiting disturbance within the buffer.
- **Current Submittal (Third Iteration):**
The plan has been further refined through measurable design adjustments, including:
 - The **home being brought forward from 43 feet from front property line to 39.15 feet from front property line**, increasing separation from the stream corridor
 - The **retaining wall being pulled further toward the residence**, resulting in it now being **fully located outside of the primary 25-foot vegetative buffer**
 - The **finished floor elevation being lowered from 550.67 to 547.02**, reducing the overall height from street elevation and better aligning with the natural topography, improving grading slopes around home.

These changes provide multiple site and environmental benefits, including:

- Eliminating intrusion into the **primary 25-foot buffer**
- Reducing the **steepness of grading transitions**, which improves stormwater management and reduces runoff velocity
- Allowing for **more controlled drainage patterns** across the site
- **Reducing the perceived height and massing of the home from the street**, improving compatibility with surrounding properties
- Minimizing the extent of overall disturbance while maintaining necessary stabilization measures

This progression reflects a substantial and deliberate reduction in impact across each iteration and demonstrates a continued good-faith effort to respond to City feedback while preserving reasonable residential use of the property.

5. Environmental Impact & Mitigation

The project has been designed to maintain the intent of the City's stream buffer protections through:

- Preservation of the **primary vegetative buffer**
- **No disturbance to the creek channel or top-of-bank**
- Implementation of **engineered stormwater management systems**
- Use of **temporary and permanent erosion control BMPs**
- Incorporation of **retaining walls and stabilization measures** to reduce overall disturbance

As noted in FEMA and SEMA mapping, the property is not located within a regulated floodway, and the proposed improvements will not alter hydraulic conditions or increase flood risk.

6. Neighborhood Context & Reasonable Use

The proposed residence remains consistent with the scale and character of surrounding homes along Bismark Avenue.

Strict enforcement of the stream buffer setback would effectively prevent development of a home comparable to others in the neighborhood, resulting in an undue hardship and limiting reasonable residential use of the property.

7. Additional Variance Requests

In addition to the stream buffer variance outlined above, the Applicant is requesting two minor variances that are directly related to the same site constraints and design adjustments described herein.

Front Yard Setback Variance

The project includes a request for a variance from the required front building setback line.

- **Required Front Setback:** 42.5 feet
- **Proposed Setback:** 39.15 feet

As described in prior sections, the residence has been intentionally **shifted forward on the lot** to:

- Increase separation from the stream corridor
- Eliminate intrusion into the primary 25-foot buffer
- Reduce overall environmental impact



The requested front setback variance is minimal in nature (approximately 3.35 feet) and is a direct result of these efforts. This adjustment allows the home to be positioned in a manner that:

- Better responds to the site's topography and constraints
- Maintains functional driveway access and circulation
- Preserves reasonable residential use of the property

The proposed setback remains consistent with the character and spacing of surrounding homes along Bismark Avenue and does not create any adverse impact to the streetscape.

Fence Installation within Buffer Area

The Applicant is also requesting approval for the installation of a residential fence, portions of which may extend into the stream buffer area.

This request is limited in scope and impact:

- The fence is a **non-impervious improvement**
- Installation will require **minimal disturbance**, limited to post placement
- The fence will not alter grading, drainage patterns, or creek conditions

Importantly, any minor intrusion associated with the fence is **significantly less impactful** than the previously proposed retaining wall improvements that have since been relocated outside of the primary buffer.

As such, the fence represents a **low-impact, accessory improvement** that does not compromise the intent of the stream buffer protections and is consistent with typical residential use.



NJL Custom Homes
556 Leffingwell Ave, Second Floor
Kirkwood, MO 63122

Conclusion

The hardship associated with this property is the result of unique natural conditions, including creek alignment and topography, and is not self-imposed.

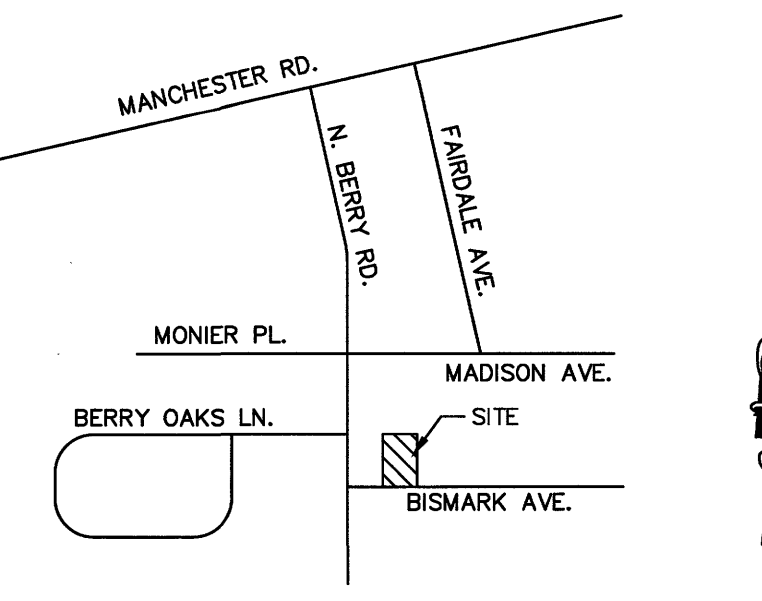
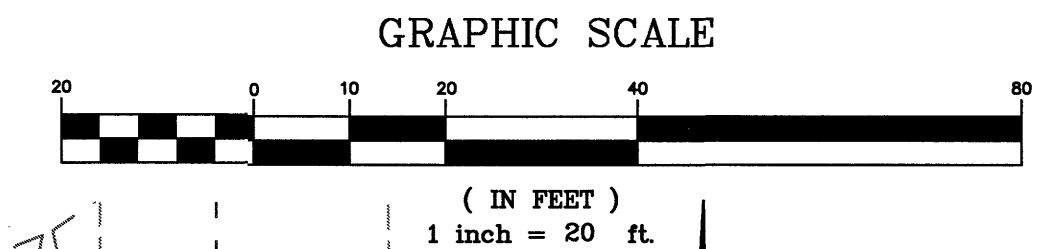
Through multiple design iterations, the proposed plan has been refined to minimize environmental impact while maintaining reasonable use of the property. The current design represents the **most balanced and least intrusive solution** achievable under the circumstances.

We respectfully request approval of this variance.

Thank you for your time and consideration.

Respectfully submitted,
NJL Custom Homes

**A TRACT OF LAND BEING ALL OF LOTS 197, 198, 199, 200 & PART OF VACATED ALLEY
OF "ALGONQUIN VIEW" (P.B. 22 PG. 28) LOCATED IN SECTION 29, 30 & 32, TOWNSHIP 45 NORTH,
RANGE 6 EAST, CITY OF GLENDALE, ST. LOUIS COUNTY, MISSOURI.**

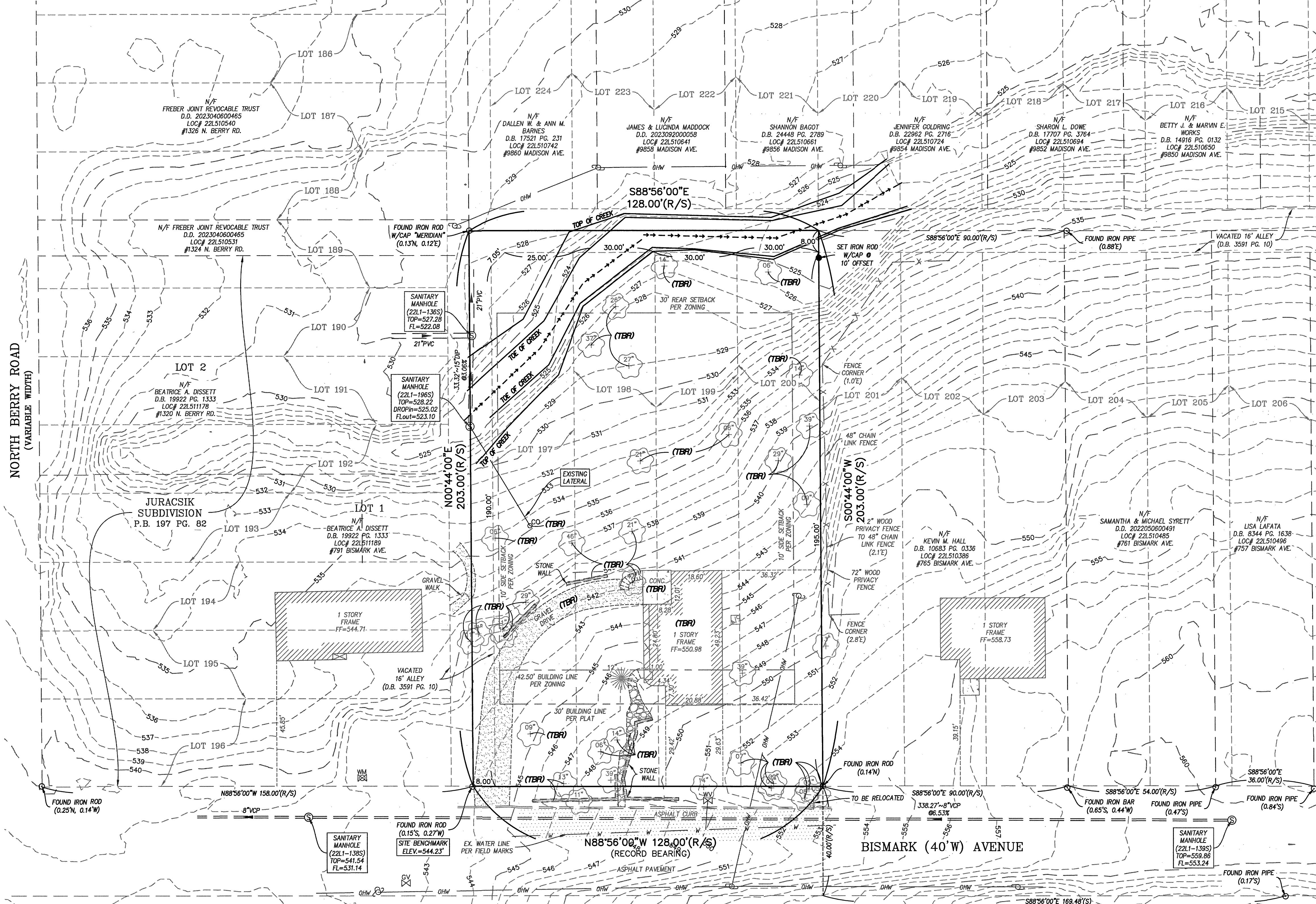


ABBREVIATIONS:

- CONC. - CONCRETE
- N/F - NOW OR FORMERLY
- P.B. - PLAT BOOK
- D.B. - DEED BOOK
- D.D. - DEED DOCUMENT
- PG. - PAGE
- SQ. FT. - SQUARE FEET
- (R) - RECORD
- (S) - SURVEY
- FF - FINISH FLOOR
- TF - TOP FOUNDATION
- BF - BASEMENT FLOOR

LEGEND:

- TREE LINE
- STILT FENCE
- FENCE LINE
- UNDERGROUND CATV LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND WATER LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND GAS LINE
- OVERHEAD ELECTRIC
- OVERHEAD WIRE
- UNDERGROUND SEWER LINE
- BUILDING
- LIGHT STANDARD
- YARD LIGHT
- UTILITY POLE
- UTILITY POLE W/ LIGHT
- UTILITY POLE W/ TRANSFORMER
- GUY WIRE
- TRAFFIC SIGNAL
- WATER SPIGOT
- ELECTRIC METER
- WATER METER
- GAS METER
- WATER VALVE
- GAS VALVE
- GAS DRIP
- ELECTRIC BOX
- CABLE TV BOX
- TELEPHONE BOX
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- STREET/ROAD SIGN
- MISC. POLE/POST
- PARCEL TIE (SAME OWNER)
- FIRE HYDRANT
- UTILITY MANHOLE
- MAIL BOX
- A/C UNIT
- SANITARY MANHOLE
- SANITARY CLEANOUT
- STORM MANHOLE
- CURB INLET / AREA INLET
- GRATE MANHOLE
- GRATE INLET
- BUSH/SHRUB
- TREE
- SURFACE FLOW
- SURFACE FLOW WITH SLOPE
- DENOTES PERMANENT MONUMENT TO BE PLACED UPON COMPLETION OF GRADING AND ROADWAY IMPROVEMENTS 5/8"x24" REBAR WITH METAL CAP STAMPED LS 307-D.
- DENOTES SEMI-PERMANENT MONUMENT TO BE SET
- FOUND IRON PIPE
- CONC. MON./STONE
- ✕ CROSS
- ⊕ CROSS WITH ANCHOR
- CONC. PAVEMENT
- ASPHALT PAVEMENT
- BRICK PAVERS
- GRAVEL



SITE INFO:
N/F FOUNDATION UP
D.D. 2023090800502
LOC # 221511255
#755 BISMARK AVE.
25,984 SQ. FT. OR 0.597 AC.±

ZONING INFO:
R-1 SINGLE FAMILY RESIDENTIAL DISTRICT
FRONT: AVERAGE OF ADJACENT HOMES
(45.85' + 39.15' = 85.00' / 2 = 42.50')
FRONT: 30' SETBACK PER PLAT
SIDE: 10' SETBACK
REAR: 30' SETBACK
HEIGHT: 35' OR 2 1/2 STORIES.

ABBREVIATIONS:

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- PG. - PAGE
- SQ. FT. - SQUARE FEET
- (R) - RECORD
- (S) - SURVEY
- RAD. - RADIAL
- FF - FINISH FLOOR
- TF - TOP FOUNDATION
- BF - BASEMENT FLOOR
- UP - USE IN PLACE
- DB - TO BE REMOVED
- DS - DOWNSPOUT
- F/P - FIREPLACE
- W/W - WINDOW WELL
- APPRO. - APPROXIMATE

EXISTING UTILITIES NOTES

- ALL DESTRUCTION OF EXISTING UTILITY TAPS SHALL BE IN ACCORDANCE WITH EACH UTILITY PROVIDER'S SPECIFICATIONS, INCLUDING FEDERAL, STATE, AND LOCAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE TO CONTACT AND IDENTIFY ALL UTILITIES AND PERFORM WORK IN A SAFE AND RESPONSIBLE MANNER.
- THE SERVICEABILITY OF ALL UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR / HOMEOWNER. ANY AND ALL REQUIREMENTS FOR EXISTING OR PROPOSED FLOW RATES, FIRE PROTECTION, CONNECTION FEES OR REQUIRED STUDIES ARE NOT THE RESPONSIBILITY OF THE STERLING COMPANY.
- THE STERLING COMPANY ASSUMES NO RESPONSIBILITY FOR CONTRACTOR'S WORK OR FOR ANY WORK NOT SPECIFICALLY MENTIONED.

SITE BENCHMARK:
IRON ROD WITH CAP - 544.23' (NAVOD88)
FOUND IRON ROD AT THE SOUTHWEST CORNER OF THE SUBJECT TRACT AS SHOWN HEREIN.

BENCHMARK:
ST. LOUIS COUNTY BENCHMARK
BENCHMARK: 14351; ELEVATION: 584.24' (NAVOD88)
"I" ON TOP CONCRETE RETAINING WALL AT SOUTH SIDE OF STEPS AT HOUSE #1364 BERRY ROAD; 20' EAST OF CENTERLINE OF BERRY ROAD.

SURVEYOR'S NOTES

- THIS TRACT CONTAINS 25,984 SQUARE FEET OR 0.597 ACRES MORE OR LESS.
- BASIS OF BEARING: THE BEARINGS ARE BASED ON THE RECORD PLAT OF "ALGONQUIN VIEW" AS RECORDED IN PLAT BOOK 22 PAGE 28 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
- SOURCE OF RECORD TITLE: FOUNDATION UP IS DESCRIBED AS THE OWNER AS RECORDED IN DEED DOCUMENT 2023090800502 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
- THE PROFESSIONAL WHOSE SEAL AND SIGNATURE APPEARS BELOW ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS (PURSUANT TO SECTION 327.411 RSMO) ANY RESPONSIBILITY FOR PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT FOR WHICH THIS PAGE REFERS.



**CALL BEFORE
YOU DIG!
1-800-DIG-RITE**

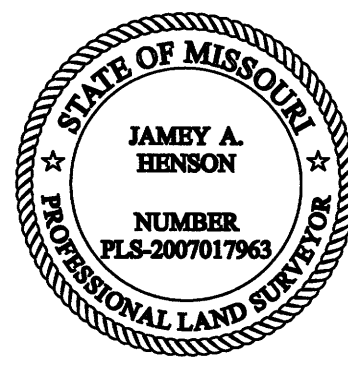
TITLE NOTES

A CURRENT TITLE COMMITMENT OF THE SUBJECT TRACT HAS NOT BEEN PROVIDED TO THE SURVEYOR. IT IS POSSIBLE THERE ARE EASEMENTS AND OTHER INSTRUMENTS OF RECORD THAT AFFECT THE SUBJECT TRACT THAT WOULD BE EXPOSED IN THE TITLE COMMITMENT REPORT AND ARE UNKNOWN TO THE SURVEYOR AT THE TIME OF SURVEY WAS EXECUTED AND THEREFORE NOT PLOTTED HEREON. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. BUILDING LINES OF THE SUBJECT TRACT ARE SHOWN PER PLAT BOOK 22 PAGE 28. ADDITIONAL BUILDING LINES ARE SHOWN FROM THE CURRENT ZONING CODE OF GLENDALE.

- Plot Plan Prepared by
THE STERLING COMPANY (314) 487-0440
- Notes:**
- Finished grades at the building to be a minimum of 8 inches below top of foundation for wood frame and 6 inches below for wood frame with brick veneer.
 - All wood framing members that rest on top of the foundation located less than 8 inches above the exposed ground and all other wood less than 6 inches from the ground shall be pressure treated in accordance with section R319.1.
 - Grade shall be noted to slope away from foundation a minimum of a 6 inch drop or min. 5% within the first 10 feet or to a swale.
 - Foundation footings shall be constructed so as to maintain a 2' 6" depth of earth cover or as required by local building codes.
 - This plot plan conforms to "GLENDALE CODE".
 - Elevation Example: 714.0(E)=Existing Elevation, 714.0(P)=Proposed Elevation.
- THIS IS NOT A SURVEY AND DOES NOT MEET THE MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS IN EFFECT AS OF THE DATE OF THIS PLOT PLAN.

THE STERLING COMPANY
MO. REG. 307-D

James A. Henson
10-7-2025
JAMES A. HENSON, P.L.S. - VICE PRESIDENT
MO. REG. L.S. #007017983



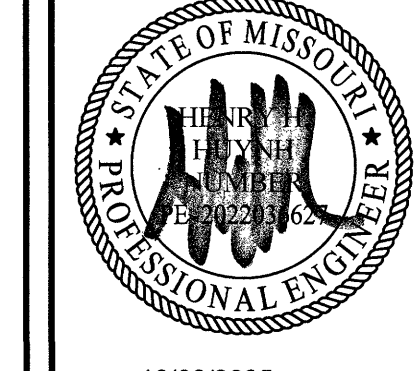
ISSUE	REMARKS/DATE
1	Update House/Garage Plan - 10/06/25
2	
3	

NJL Custom Homes
#556 Leffingwell Ave.
Kirkwood, MO 63122
(314) 575-7481

THE STERLING CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph 314-487-0440 Fax 314-487-8944
www.sterling-eng-survey.com
Corporate Certificate of Authority #001348

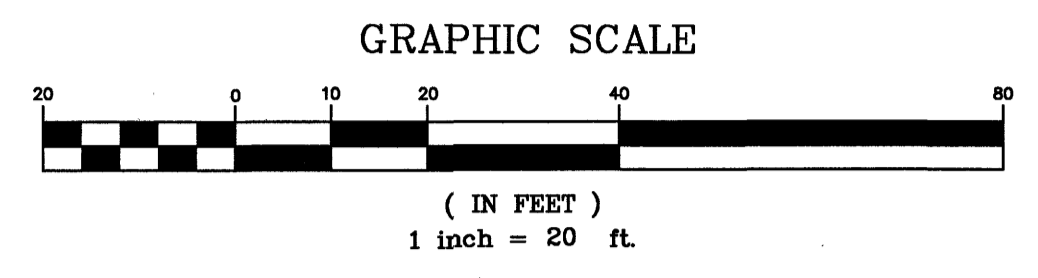
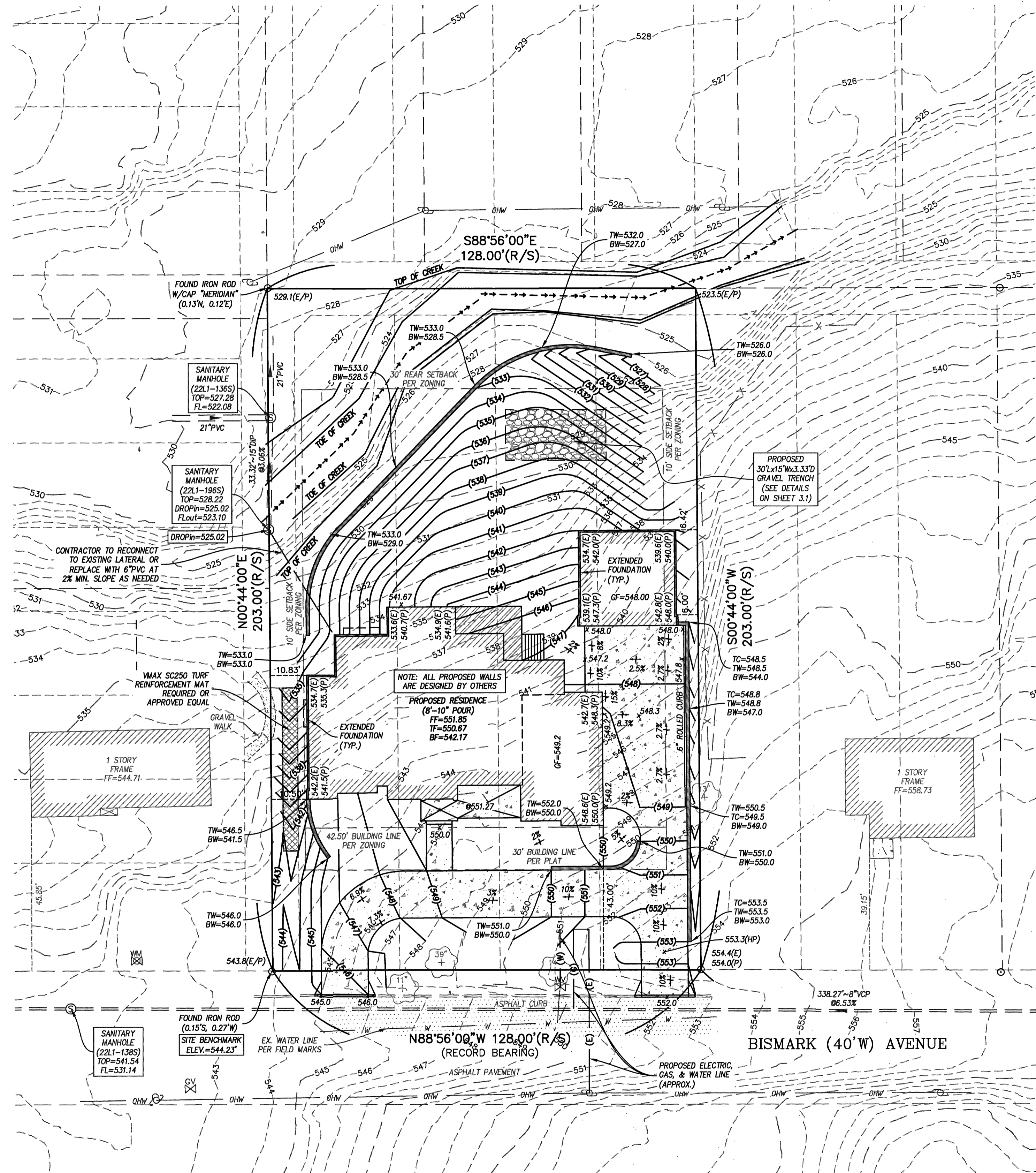
#785 BISMARK AVENUE
GLENDALE, MISSOURI 63122

The Professional Engineer's seal and signature are placed on this sheet only for the use of the engineer and are not to be used for any other purpose. All drawings, instruments or other documents not including the seal and signature shall be considered void. The engineer and surveyor assume no responsibility for any errors or omissions on any drawings or documents not including the seal and signature.



Date: 10/06/2025
Henry H. Huynh, PE
License # PE-202203627
Professional Engineer

Job Number	25-03-063
Date	10/06/2025
Designed: HHH	Sheet
Drawn: HHH	1.1
Checked: MGB	IMP



- SITE NOTES:**
1. PROPOSED WATER SERVICE CONNECTION: 1 1/4" TAP CONTRACTOR TO VERIFY THE SEWER CONNECTION WILL HAVE POSITIVE FLOW TO THE MAIN PRIOR TO STARTING CONSTRUCTION.
 2. THE UTILITY CONNECTION LOCATION AND COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 3. THE EXISTING SANITARY CONNECTION LOCATION IS ASSUMED AND SHALL BE VERIFIED BY THE CONTRACTOR FOR THE USABILITY OF THE CONNECTION.
 4. ALL PROPOSED WALLS ARE DESIGNED BY OTHERS.

F-A-R CALCULATIONS

LOT AREA	25,984 SQ.FT.
HOUSE FIRST FLOOR	3,214 SQ.FT.
HOUSE SECOND FLOOR	1,582 SQ.FT.
HOUSE TOTAL	4,796 SQ.FT.
ATTACHED GARAGE	760 SQ.FT.
ATTACHED GARAGE (50%)	380 SQ.FT.
TOTAL FLOOR AREA	5,176 SQ.FT.
FLOOR AREA RATIO	0.20
MAXIMUM FAR IS	0.30
PER ARCHITECTURAL PLAN	

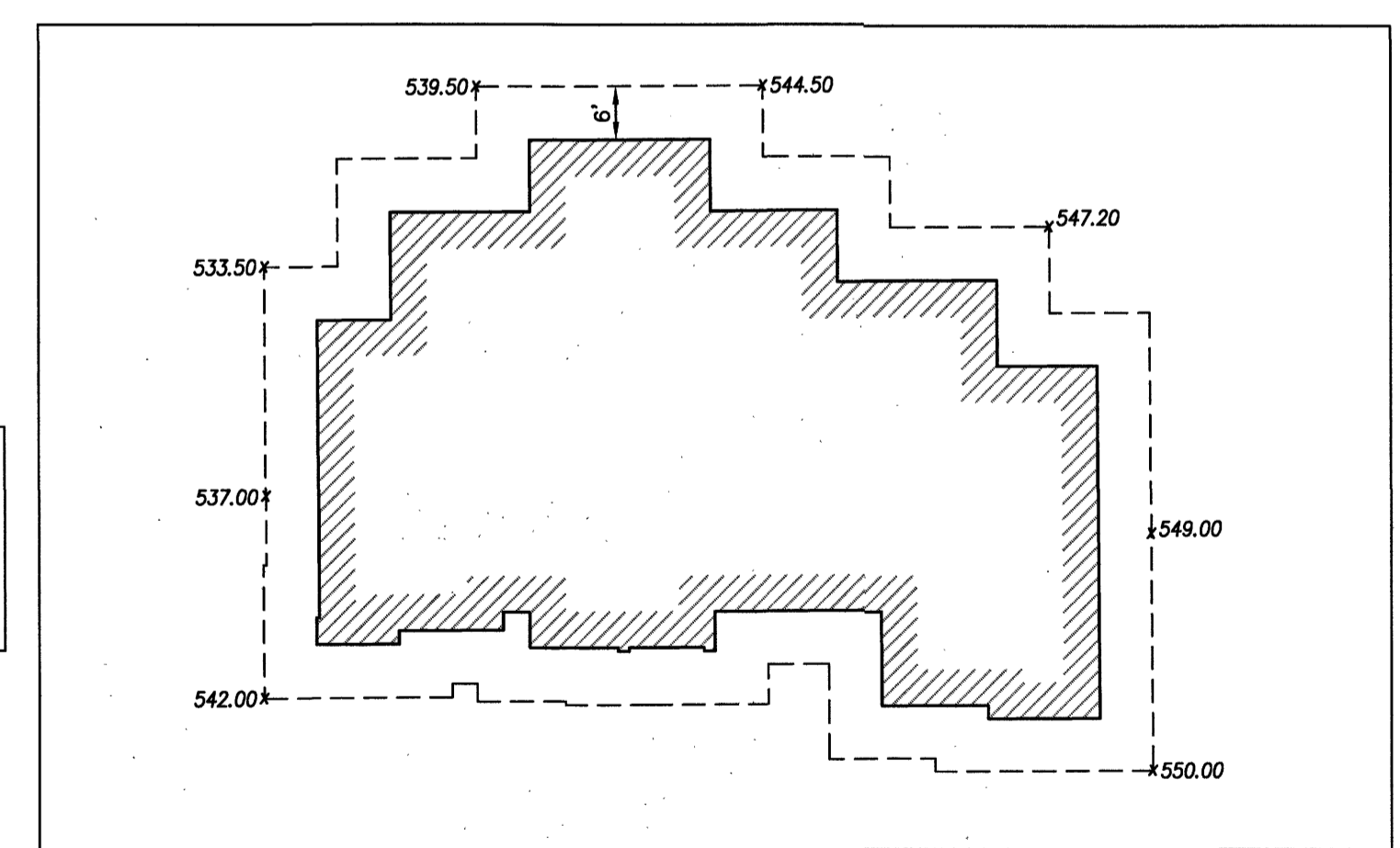
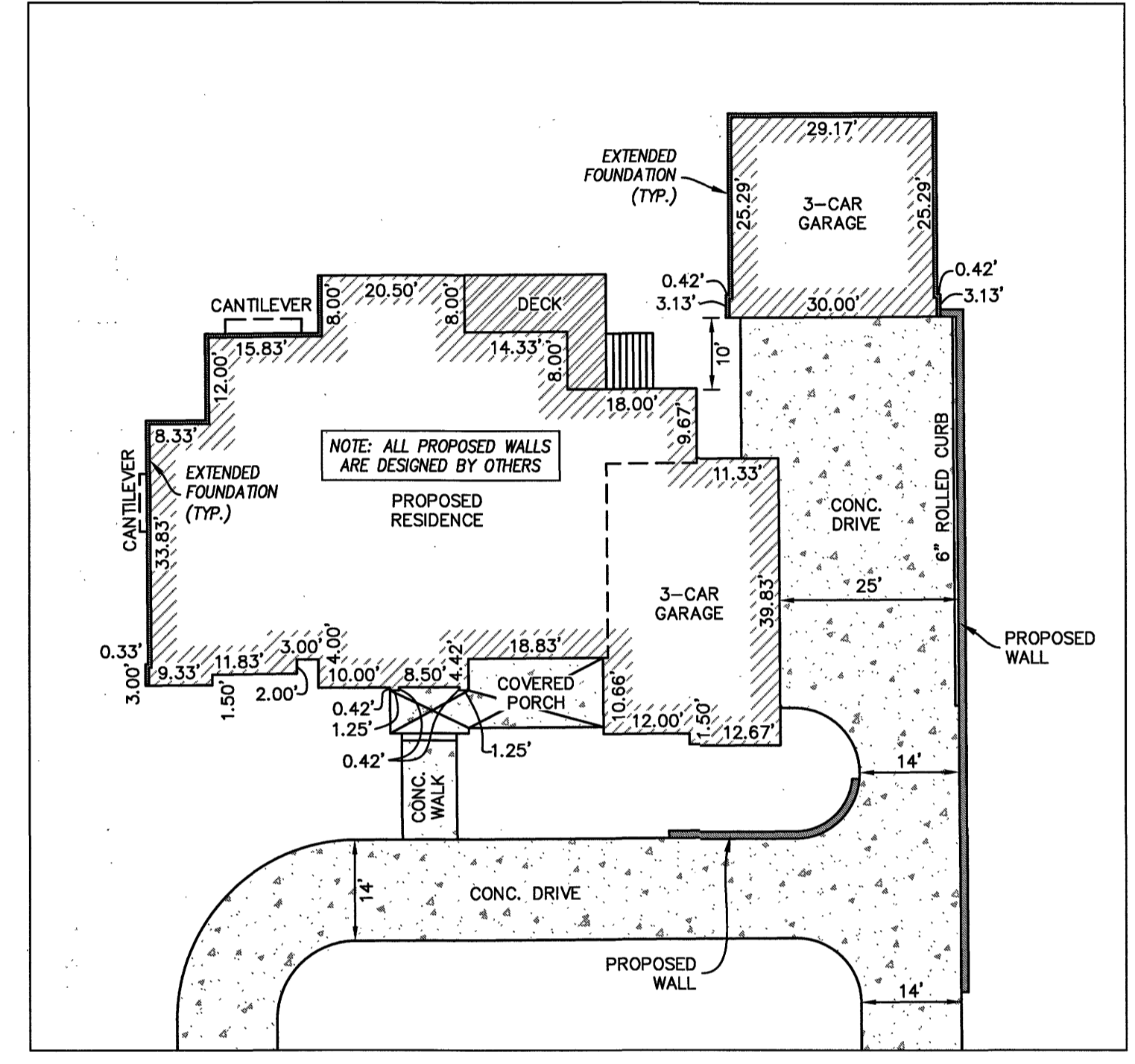
GREEN SPACE CALCULATIONS

LOT AREA	= 25,984 S.F.
TOTAL IMPROVEMENTS	= 8,979 S.F.
TOTAL PERVIOUS AREA	= 17,005 S.F.
GREEN SPACE AREA	= 65.44%

AVERAGE GRADE ELEVATION CALCULATION:

$550.00' + 549.00' + 547.20' + 544.50' + 539.50' + 533.50' + 537.00' + 542.00' = 4342.70' / 8 = 542.84'$

THE MAXIMUM HEIGHT OF THE HOUSE SHALL NOT EXCEED 542.84' + 35.00' = 577.84' PER THE CITY OF GLENDALE ZONING ORDINANCE



THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo

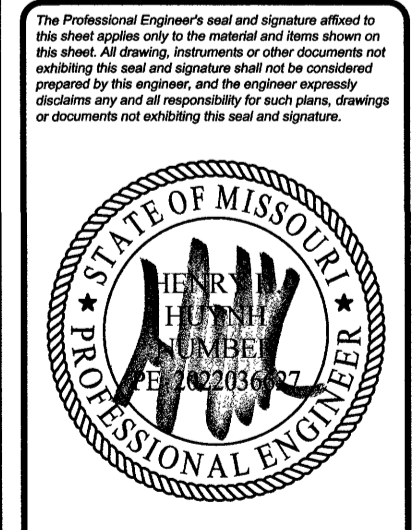
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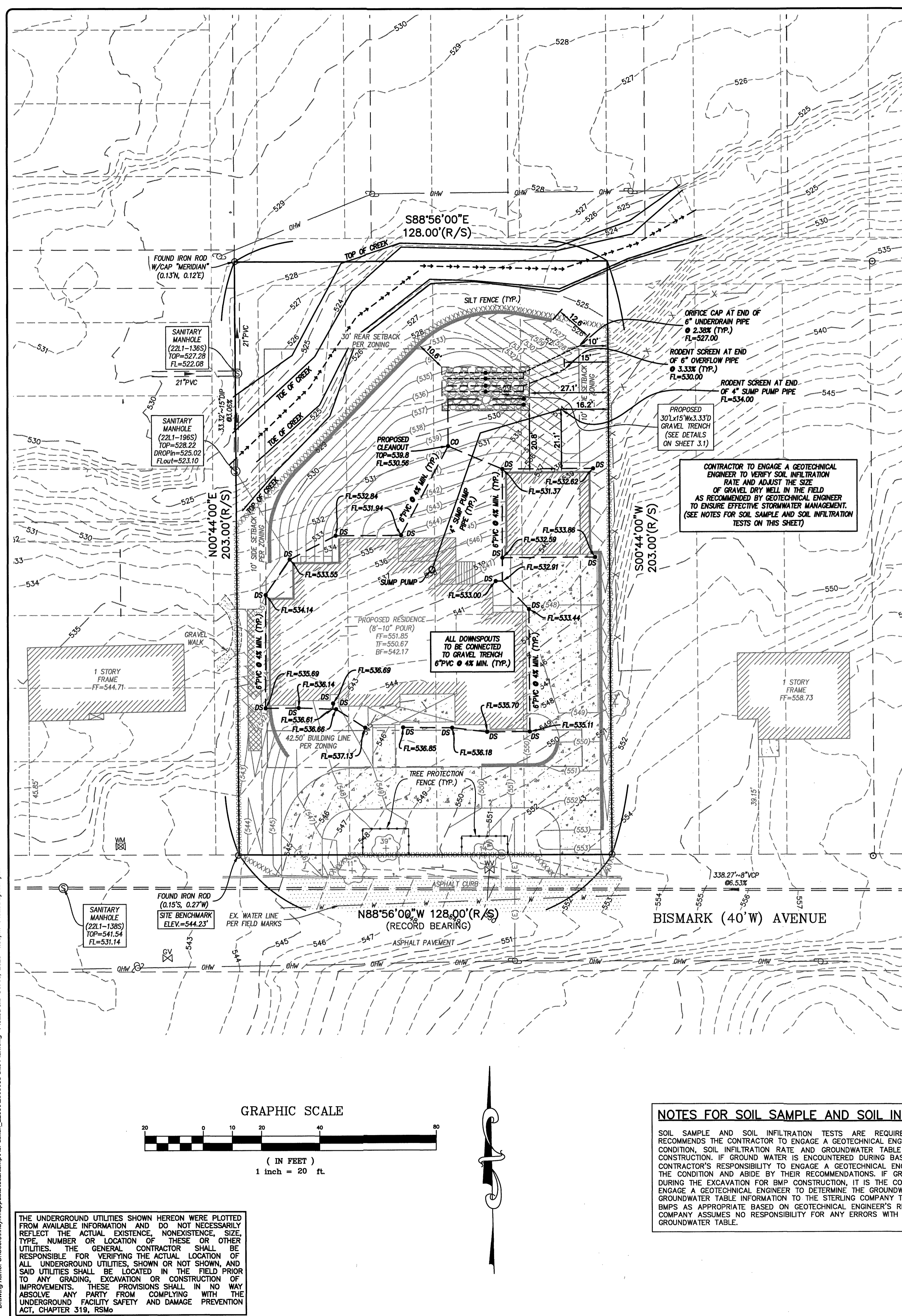
THE **STERLING** CO.
 ENGINEERS & SURVEYORS
 5065 New Baumgartner Road
 Ph 314-487-0440 Fax 314-487-8944
 www.sterling-eng-survey.com
 Corporate Certificate of Authority #001348

#785 BISMARCK AVENUE
 GLENDALE, MISSOURI 63122
 SITE / GRADING PLAN

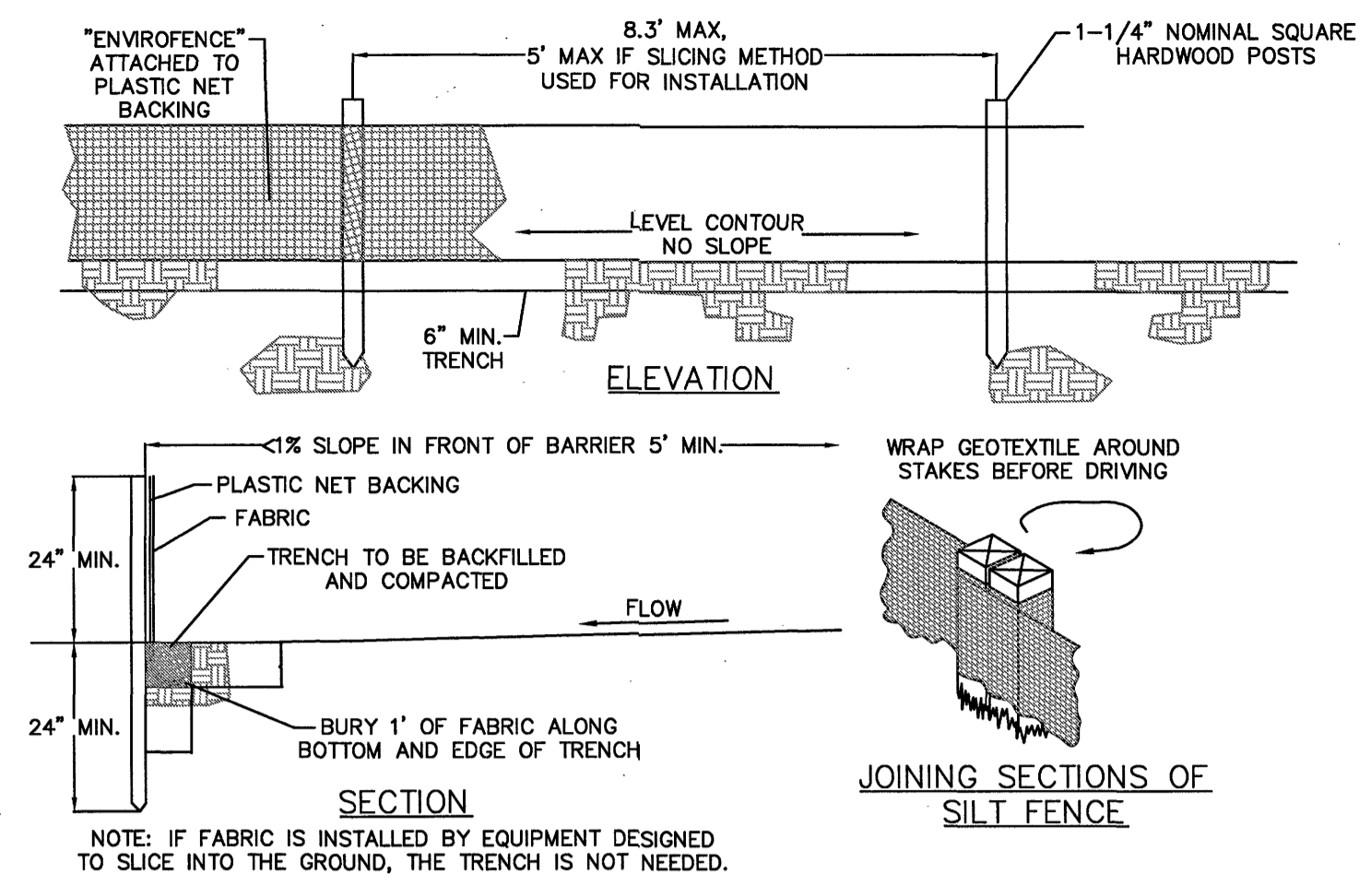
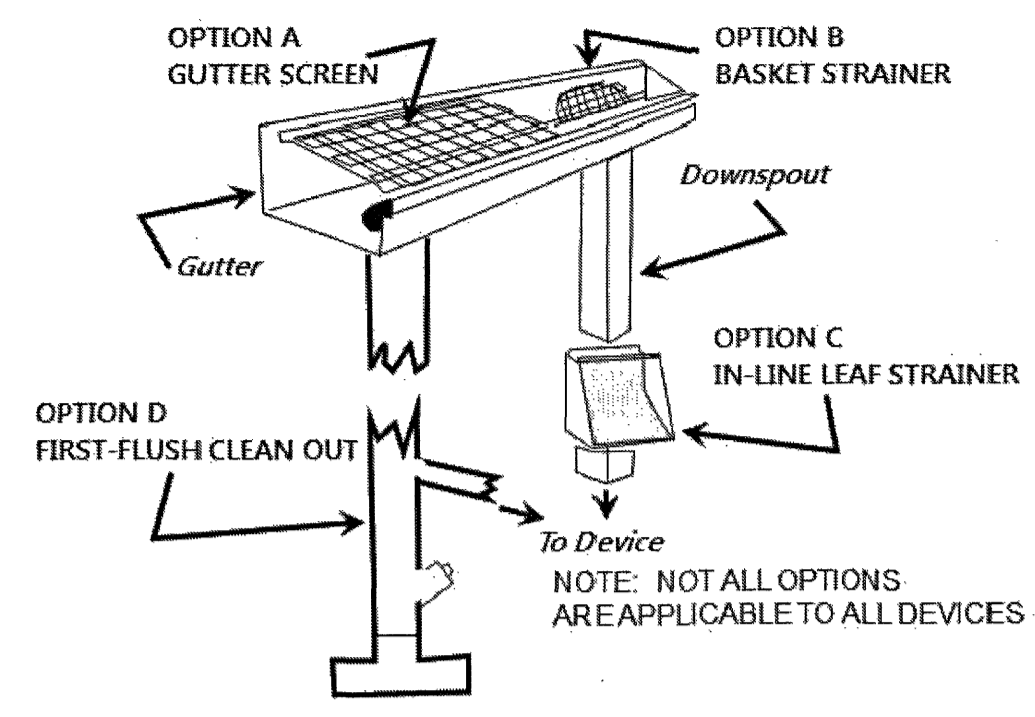


Date: 10/06/2025
 Henry H. Huynh, PE
 License # PE-2022036027
 Professional Engineer

Job Number: 25-03-063
 Date: 10/06/2025
 Designed: HHH Sheet
 Drawn: HHH 2.1
 Checked: MGB IMP



CIRCLE ONE OR MORE OPTIONS USED: A B C D

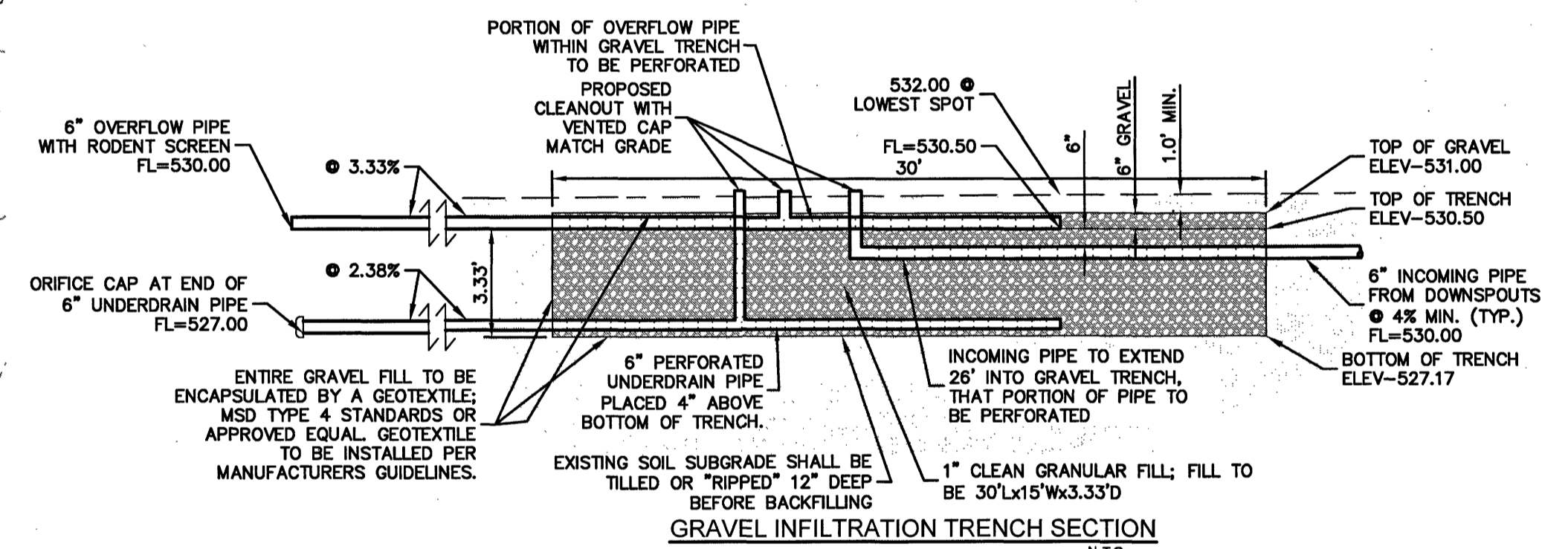
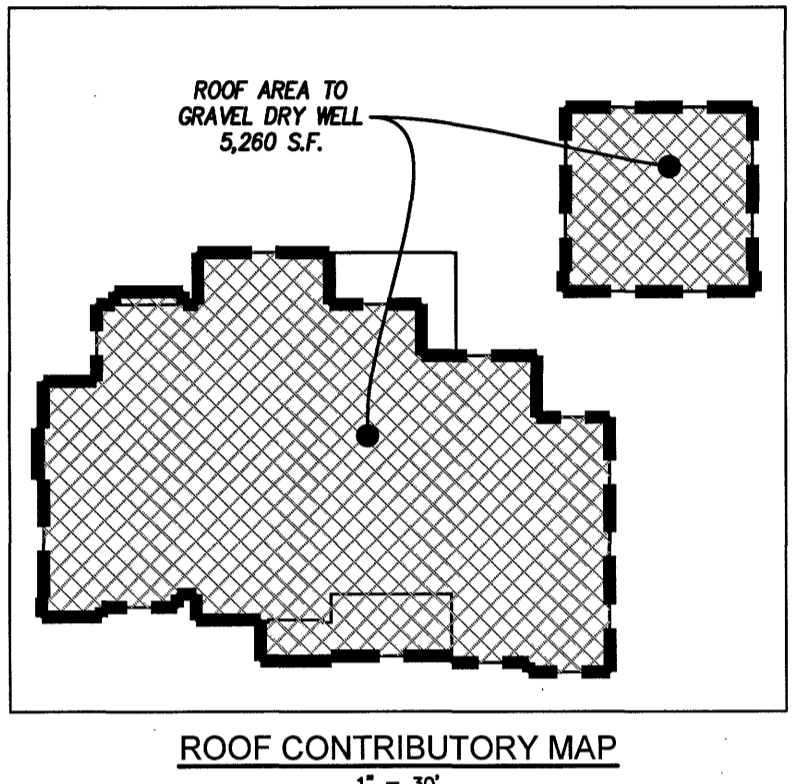


NOTES

- THE GUTTERS SHALL CONNECT TO GRAVEL TRENCH UNLESS NOTED OTHERWISE.
- THE PLACEMENT OF THE POP-UP EMITTERS TO BE DETERMINED IN THE FIELD. PLACEMENT SHALL ALLOW FOR STORM WATER TO BE ABSORBED PRIOR TO RUNOFF ONTO ADJACENT PROPERTY.
- THE CONTRACTOR IS TO MAINTAIN THE SHEET FLOW FOR THE STORM WATER AND SHALL NOT CONCENTRATE RUNOFF ONTO ADJACENT PROPERTIES.
- THE POINT OF STORMWATER DISCHARGE SHALL BE AT LEAST 10 FEET FROM ANY PROPERTY LINE.
- DO NOT CONNECT WINDOW WELL DRAINS TO THE DOWNSPOUT PIPING.

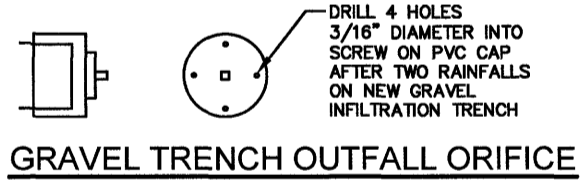
STORM WATER DESIGN CALCULATIONS

TOTAL PROPOSED ROOF AREA = 5,260 S.F. ≈ 0.121 ac.
 15 YEAR 20 MINUTE RUNOFF = 0.121 ac. (3.54) = 0.428 CFS
 THE REQUIRED VOLUME = 0.428 x 1200 = 513.60 C.F.
 25' L x 18' W x 3.33' D GRAVEL INFILTRATION TRENCHES ARE PROPOSED TO PROVIDE THE ATTENUATION. ASSUMING 40% VOIDS IN THE GRAVEL. 540.00 C.F. OF VOLUME IS PROVIDED
 540.00 C.F. TOTAL VOLUME IS PROVIDED > 513.60 C.F. IS REQUIRED
 (ALL DOWNSPOUTS FROM ROOF AREA TO BE CONNECT TO GRAVEL TRENCH)



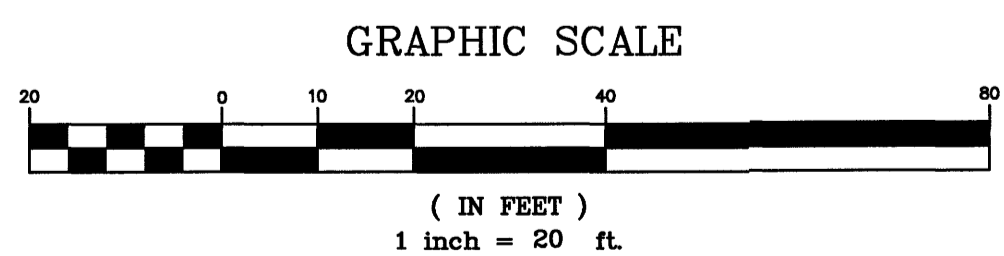
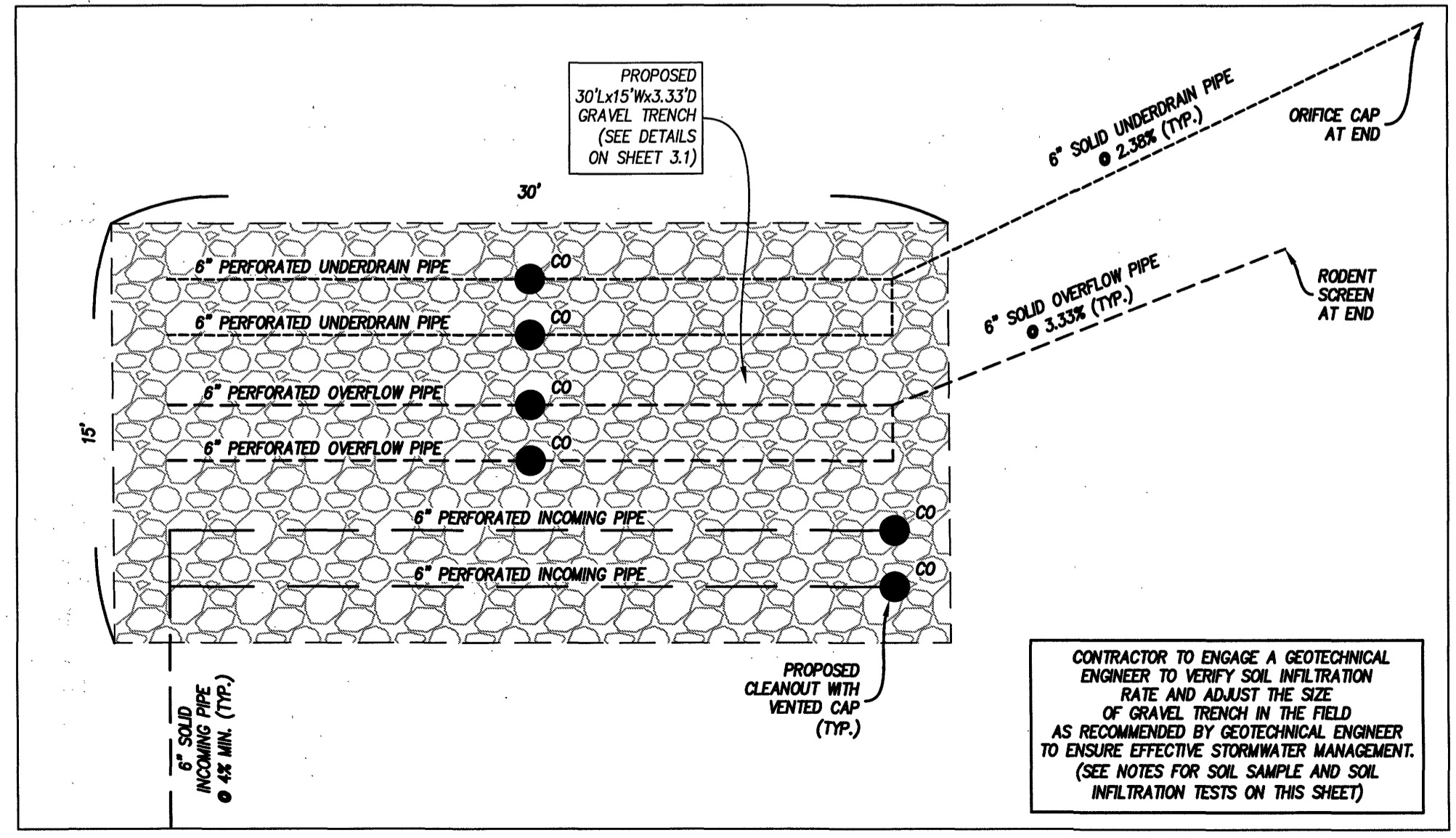
- ALL PIPES TO BE SDR-35 OR SCHEDULE 40 PVC OR EQUIVALENT.
- MSD TYPE 4 STANDARDS LAP SPICE MINIMUM LENGTH = 18 INCHES.
- ALL PIPE TERMINATING INSIDE GRAVEL TRENCH SHALL HAVE ENDS CAPPED.
- PVC STANDPIPE
 A. REST STANDPIPE ON CONCRETE BLOCK OR PAD
 B. ANCHOR PIPE INTO ROCK
- PERFORATED PIPE SHALL BE WRAPPED WITH POLYESTER FILTER SOCK.
- LESTONITE SHALL NOT BE USED IN GRAVEL INFILTRATION TRENCH

For WQv less than value below (cf)	4 holes of this diameter required
350	1/8"
800	3/16"
1500	1/4"
3300	3/8"
6000	1/2"
9075	5/8"



NOTES FOR SOIL SAMPLE AND SOIL INFILTRATION TESTS:

SOIL SAMPLE AND SOIL INFILTRATION TESTS ARE REQUIRED. THE STERLING COMPANY RECOMMENDS THE CONTRACTOR TO ENGAGE A GEOTECHNICAL ENGINEER TO VERIFY THE SITE SOIL CONDITION, SOIL INFILTRATION RATE AND GROUNDWATER TABLE (IF ENCOUNTERED) PRIOR TO CONSTRUCTION. IF GROUND WATER IS ENCOUNTERED DURING BASEMENT EXCAVATION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENGAGE A GEOTECHNICAL ENGINEER TO PROPERLY ADDRESS THE CONDITION AND ABIDE BY THEIR RECOMMENDATIONS. IF GROUND WATER IS ENCOUNTERED DURING THE EXCAVATION FOR BMP CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENGAGE A GEOTECHNICAL ENGINEER TO DETERMINE THE GROUNDWATER TABLE AND PROVIDE THE GROUNDWATER TABLE INFORMATION TO THE STERLING COMPANY TO REDESIGN THE STORM WATER BMPS AS APPROPRIATE BASED ON GEOTECHNICAL ENGINEER'S RECOMMENDATION. THE STERLING COMPANY ASSUMES NO RESPONSIBILITY FOR ANY ERRORS WITH THE SITE SOIL CONDITION AND GROUNDWATER TABLE.



THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo

REVISIONS

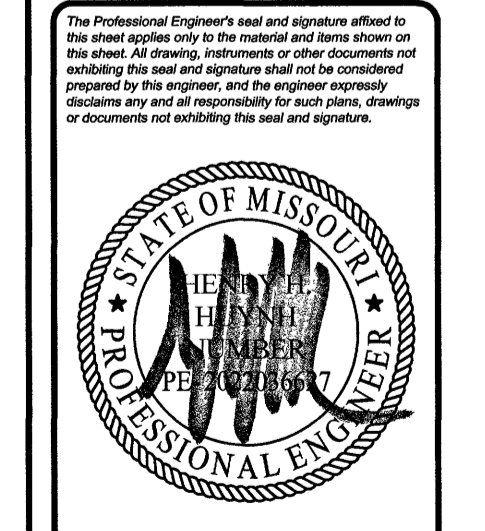
NO.	DATE	DESCRIPTION
1		Update House/Garage Plan - 10/06/25
2		
3		

N/JL Custom Homes
 #556 Leffingwell Ave.
 Kirkswood, MO 63122
 (314) 575-7481

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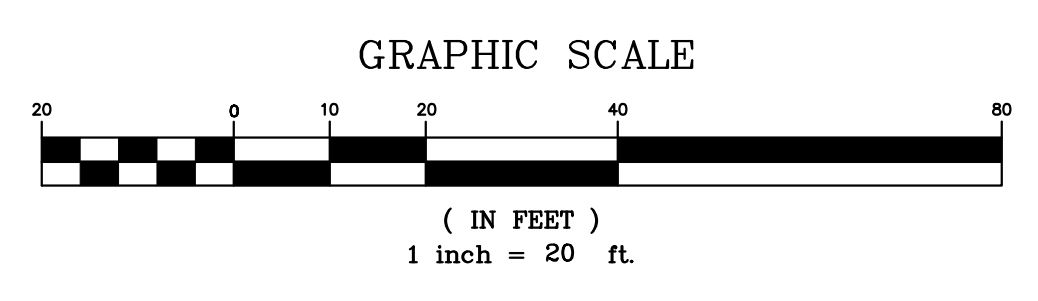
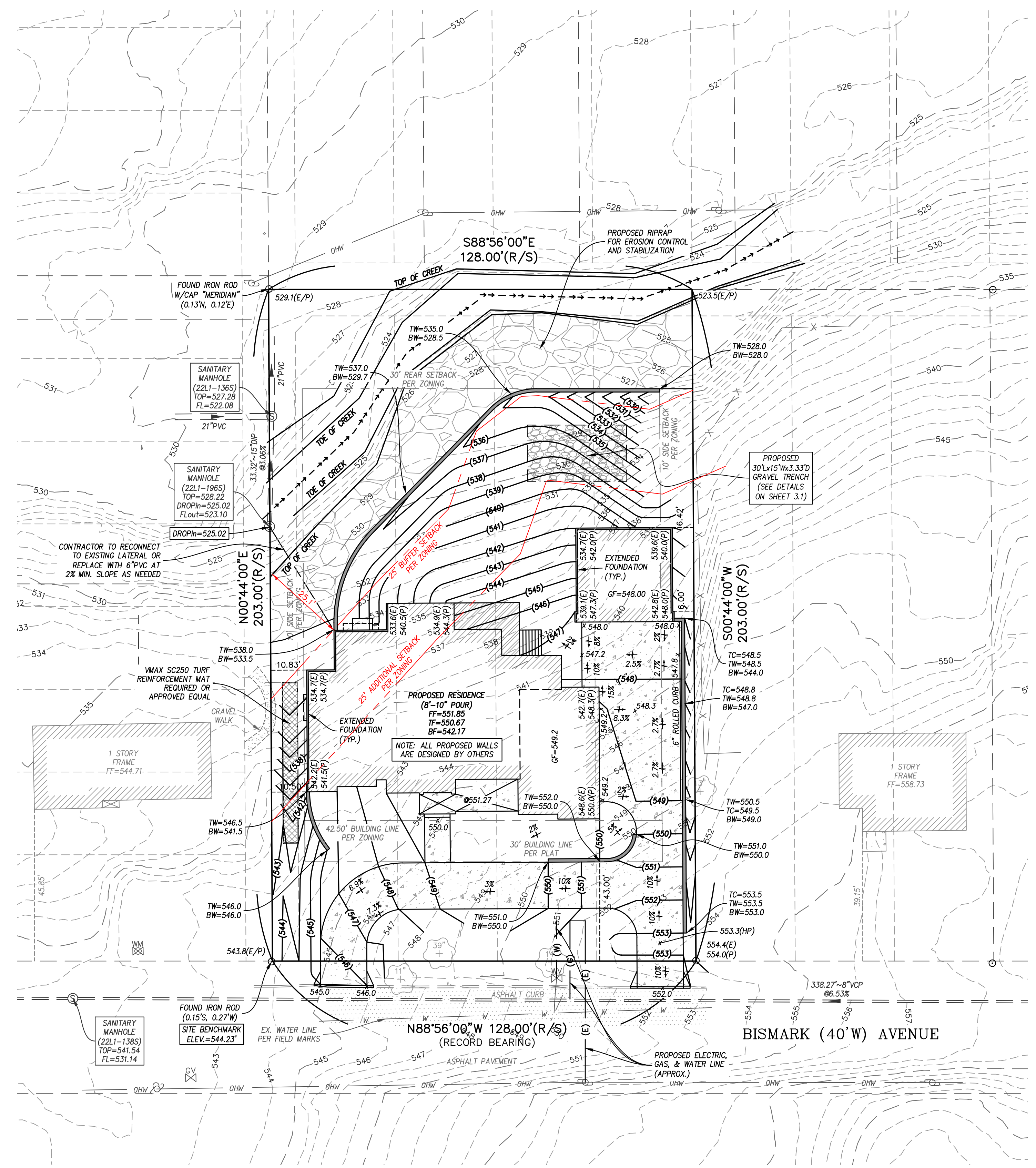
STORM WATER PLAN



Date: 10/06/2025
 Henry H. Huynh, P.E.
 License # PE-2022036627
 Professional Engineer

Job Number: 25-03-063
 Date: 10/06/2025
 Designed: HHH Sheet
 Drawn: HHH 3.1
 Checked: MGB IMP

Drawing name: V:\2503063 785 Bismark Ave\Drawings\Surveying\Plot Plan\2503063 Site Plan.dwg. Printed on: Dec 16, 2025 - 8:57am. Plotted by: hhuynh



- SITE NOTES:**
1. PROPOSED WATER SERVICE CONNECTION: 1 1/4" TAP
 2. CONTRACTOR TO VERIFY THE SEWER CONNECTION WILL HAVE POSITIVE FLOW TO THE MAIN PRIOR TO STARTING CONSTRUCTION.
 3. THE UTILITY CONNECTION LOCATION AND COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 4. THE EXISTING SANITARY CONNECTION LOCATION IS ASSUMED AND SHALL BE VERIFIED BY THE CONTRACTOR FOR THE USABILITY OF THE CONNECTION.
 5. ALL PROPOSED WALLS ARE DESIGNED BY OTHERS.

F-A-R CALCULATIONS

LOT AREA	25,984 SQ.FT.
HOUSE FIRST FLOOR	3,214 SQ.FT.
HOUSE SECOND FLOOR	1,582 SQ.FT.
HOUSE TOTAL	4,796 SQ.FT.
ATTACHED GARAGE	760 SQ.FT.
ATTACHED GARAGE (50%)	380 SQ.FT.
TOTAL FLOOR AREA	5,176 SQ.FT.
FLOOR AREA RATIO	0.20
MAXIMUM FAR IS	0.30
PER ARCHITECTURAL PLAN	

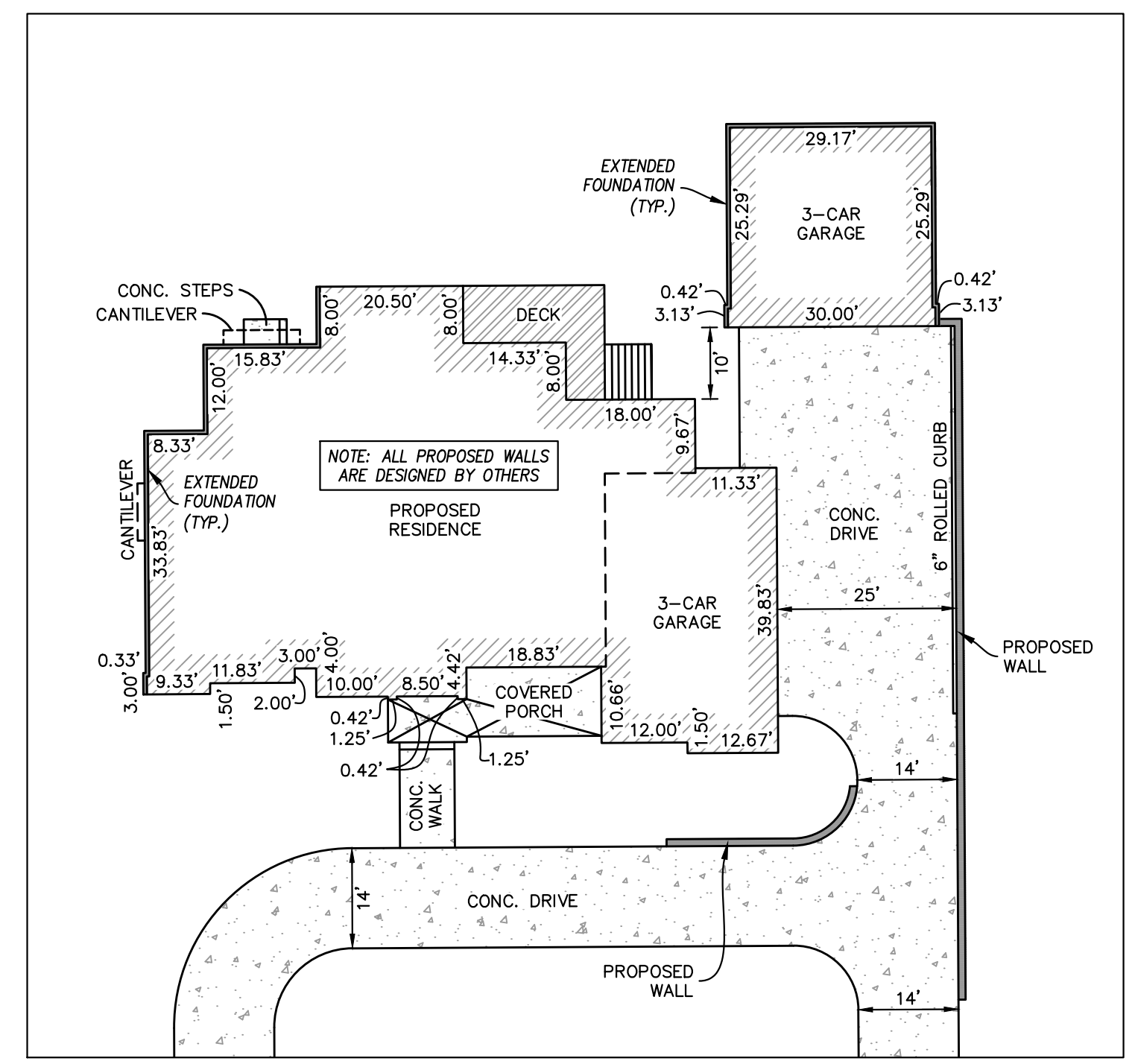
GREEN SPACE CALCULATIONS

LOT AREA = 25,984 S.F.
TOTAL IMPROVEMENTS = 9,000 S.F.
TOTAL PERVIOUS AREA = 16,984 S.F.
GREEN SPACE AREA = 65.36%

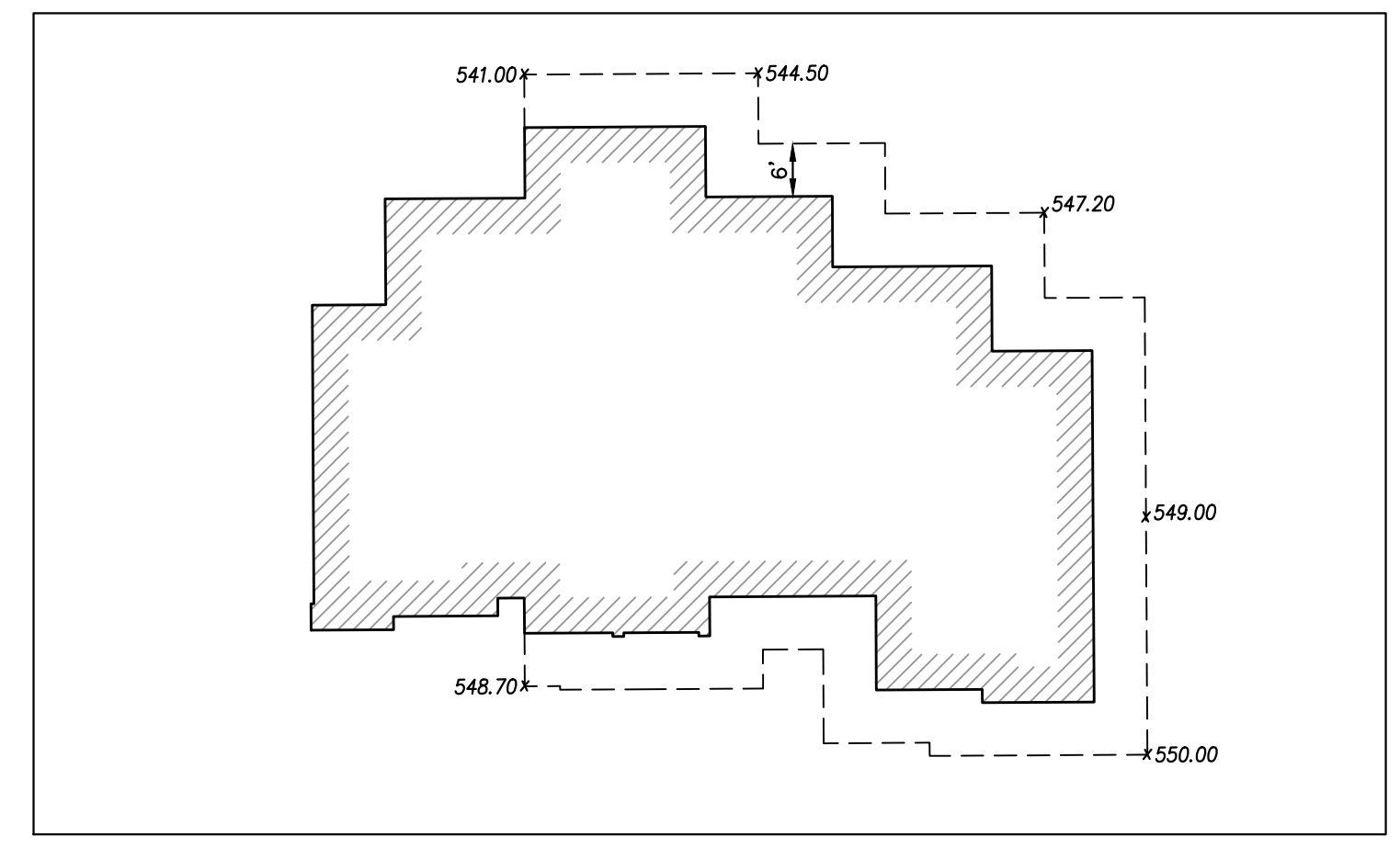
AVERAGE GRADE ELEVATION CALCULATION:

$550.00' + 549.00' + 547.20' + 544.50' + 541.00' + 548.70' = 3280.40' / 6 = 546.73'$

THE MAXIMUM HEIGHT OF THE HOUSE SHALL NOT EXCEED $546.73' + 35.00' = 581.73'$ PER THE CITY OF GLENDALE ZONING ORDINANCE



HOUSE DETAILS
1" = 20'



AVERAGE GRADE ELEVATIONS
1" = 20'

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo

ISSUE REMARKS/DATE

1	Update House/Garage Plan - 10/06/25
2	Update Stormwater Calcs and Plan - 11/10/25
3	

NIL Custom Homes
#566 Leffingwell Ave.
Kirkwood, MO 63122
(314) 575-7481

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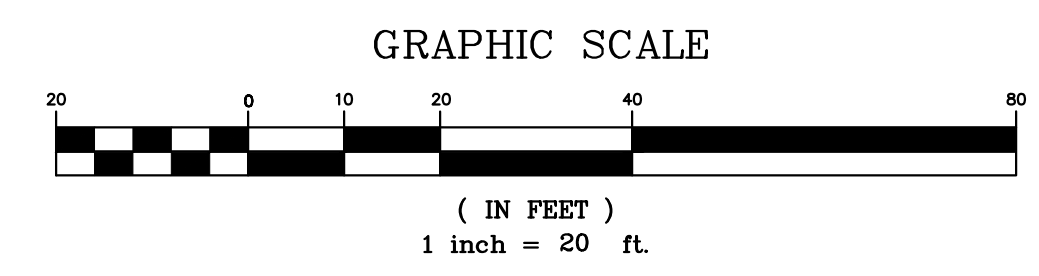
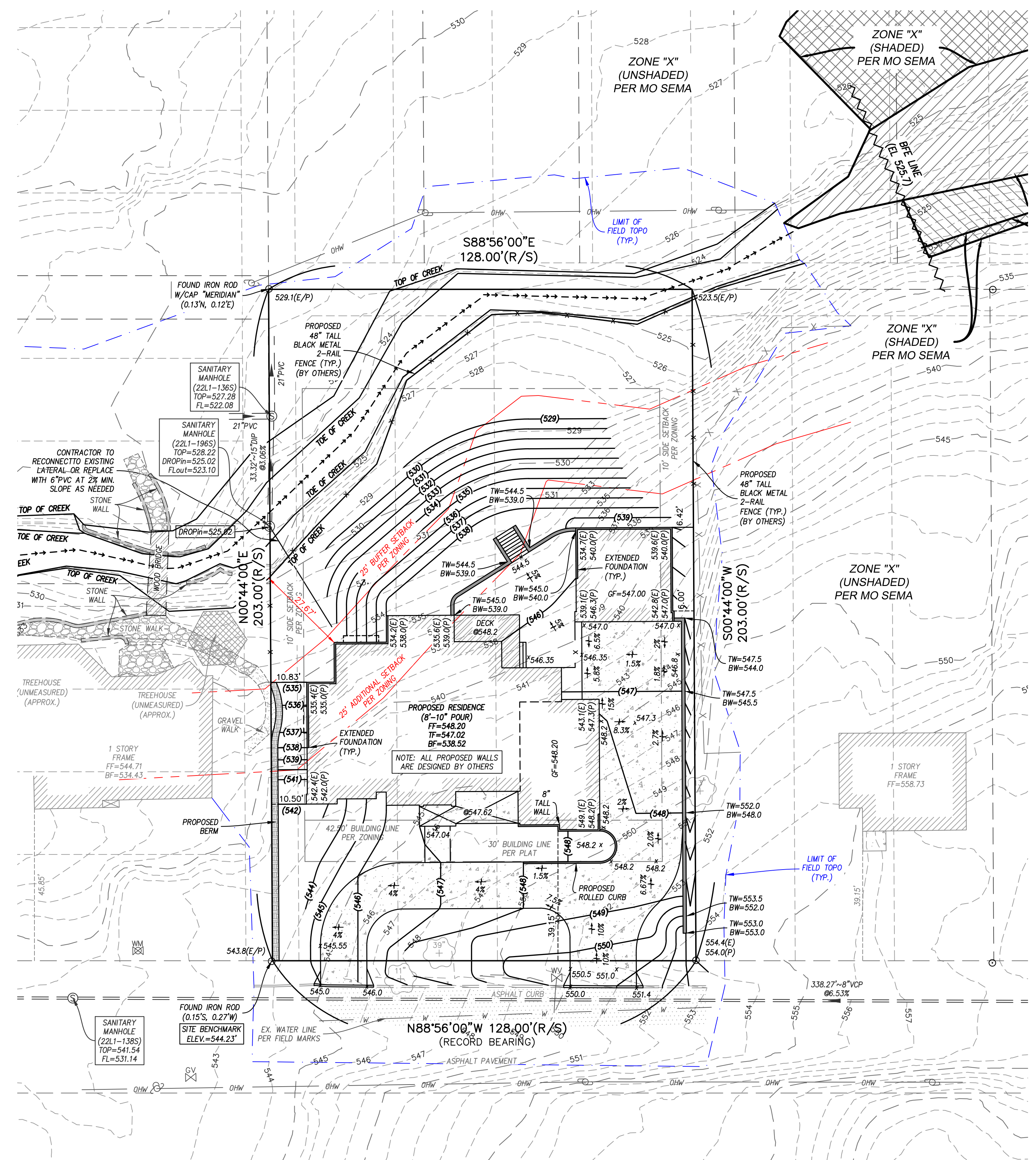
#785 BISMARCK AVENUE
GLENDALE, MISSOURI 63122
SITE / GRADING PLAN

NOT APPROVED FOR CONSTRUCTION!
FOR REVIEW ONLY

Date: Henry H. Huynh, PE
License # PE-2022036827
Professional Engineer

Job Number: 25-03-063
Date: 12/16/2025
Designed: HHH Sheet
Drawn: HHH 2.1
Checked: MGB IMP

Drawing name: V:\2503063\785 Bismark Ave\Drawings\Surveying\Plot Plan\2503063 Site Plan - Option 1.dwg Plotted on: Apr 15, 2026 - 1:46pm Plotted by: thuyth



NOTES FOR THE DEPTH TO WATER TABLE:
 ACCORDING TO NRCS WEB SOIL SURVEY, THE DEPTH TO WATER TABLE ON THE PROPERTY IS APPROXIMATE 1.6 FEET TO 4.2 FEET BELOW GRADE. CONTRACTOR TO ENGAGE A GEOTECHNICAL ENGINEER TO VERIFY THE SITE SOIL CONDITION AND WATER TABLE.

NOTES FOR GROUND WATER:
 1. THE GROUNDWATER LEVEL DEPENDS ON SEASONAL AND CLIMATIC VARIATIONS AND MAY BE PRESENT AT DIFFERENT DEPTHS IN THE FUTURE.
 2. IF GROUND WATER IS ENCOUNTERED DURING BASEMENT EXCAVATION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENGAGE A GEOTECHNICAL ENGINEER TO PROPERLY ADDRESS THE CONDITION AND ABIDE BY THEIR RECOMMENDATIONS.
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SITE NOTES:
 1. THE GROUNDWATER SERVICE CONNECTION: 1 1/4" TAP
 2. CONTRACTOR TO VERIFY THE SEWER CONNECTION WILL HAVE POSITIVE FLOW TO THE MAIN PRIOR TO STARTING CONSTRUCTION.
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FLOOR AREA RATIO	0.20
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PER ARCHITECTURAL PLAN	

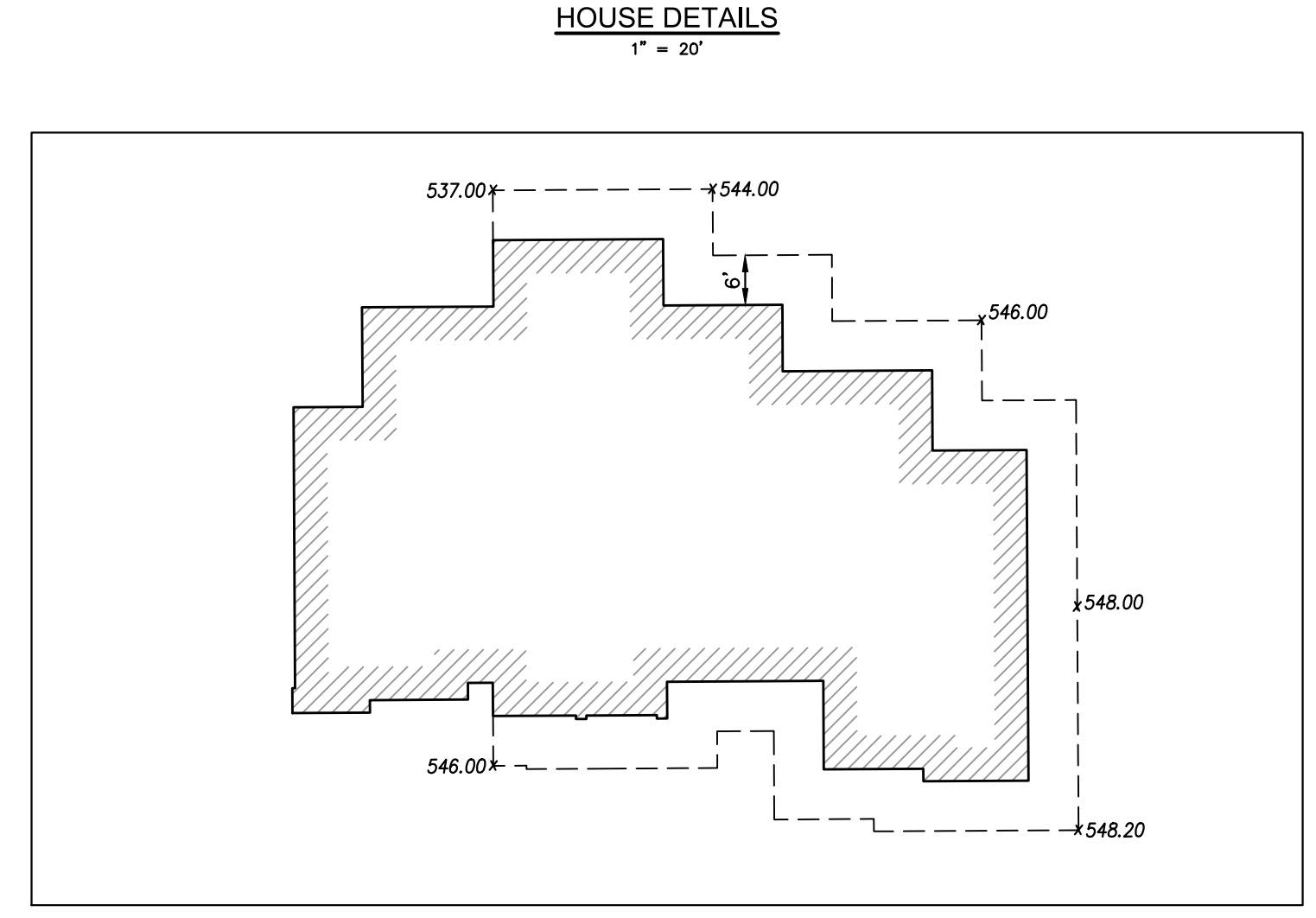
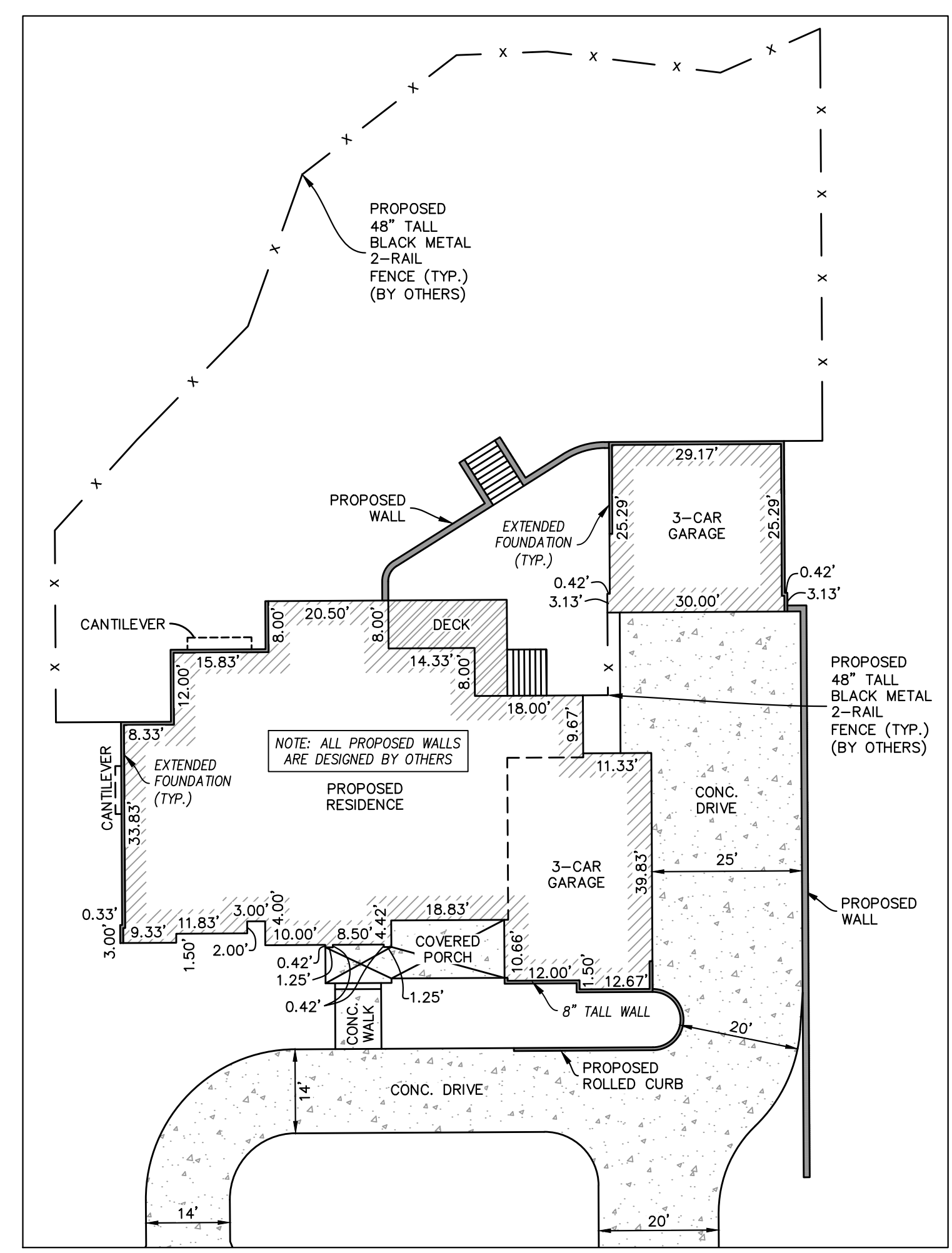
GREEN SPACE CALCULATIONS

LOT AREA	= 25,984 S.F.
TOTAL IMPROVEMENTS	= 9,163 S.F.
TOTAL PERVIOUS AREA	= 16,821 S.F.
GREEN SPACE AREA	= 64.74%

AVERAGE GRADE ELEVATION CALCULATION:
 $537.00' + 544.00' + 546.00' + 548.00' + 548.20' + 546.00' = 3269.20' / 6 = 544.87'$
 THE MAXIMUM HEIGHT OF THE HOUSE SHALL NOT EXCEED 544.87' + 35.00' = 579.87' PER THE CITY OF GLENDALE ZONING ORDINANCE.

DISTURBANCE LIMITS:
 TOTAL DISTURBANCE = 18,555 S.F. OR 0.426 AC.
 TOTAL DISTURBANCE WITHIN 25' BUFFER SETBACK = 990 S.F. OR 0.023 AC.
 TOTAL DISTURBANCE WITHIN 25' ADDITIONAL SETBACK = 4,278 S.F. OR 0.098 AC.

TOTAL INTRUSION LENGTH AND AREA:
 TOTAL INTRUSION AREA WITHIN 25' BUFFER SETBACK = 990 S.F. OR 0.023 AC.
 TOTAL INTRUSION LENGTH WITHIN 25' BUFFER SETBACK = 88 FT.
 TOTAL INTRUSION AREA WITHIN 25' ADDITIONAL SETBACK = 3,335 S.F. OR 0.077 AC.
 TOTAL INTRUSION LENGTH WITHIN 25' ADDITIONAL SETBACK = 152 FT.



ISSUE REMARKS/DATE

1	Update House/Garage Plan - 10/06/25
2	Update Stormwater Calcs and Plan - 11/10/25
3	BOA Variance Comments - 01/16/26
4	Client Comments - 03/11/26
5	Client Comments - 04/14/26

NIL Custom Homes
 #556 Leffingwell Ave.
 Kirkwood, MO 63122
 (314) 575-7481

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#785 BISMARCK AVENUE
 GLENDALE, MISSOURI 63122
 OPTION #1
 SITE / GRADING PLAN

NOT APPROVED FOR CONSTRUCTION!
 FOR REVIEW ONLY

Date: Henry F. Huynh, PE
 License # PE-2022036827
 Professional Engineer

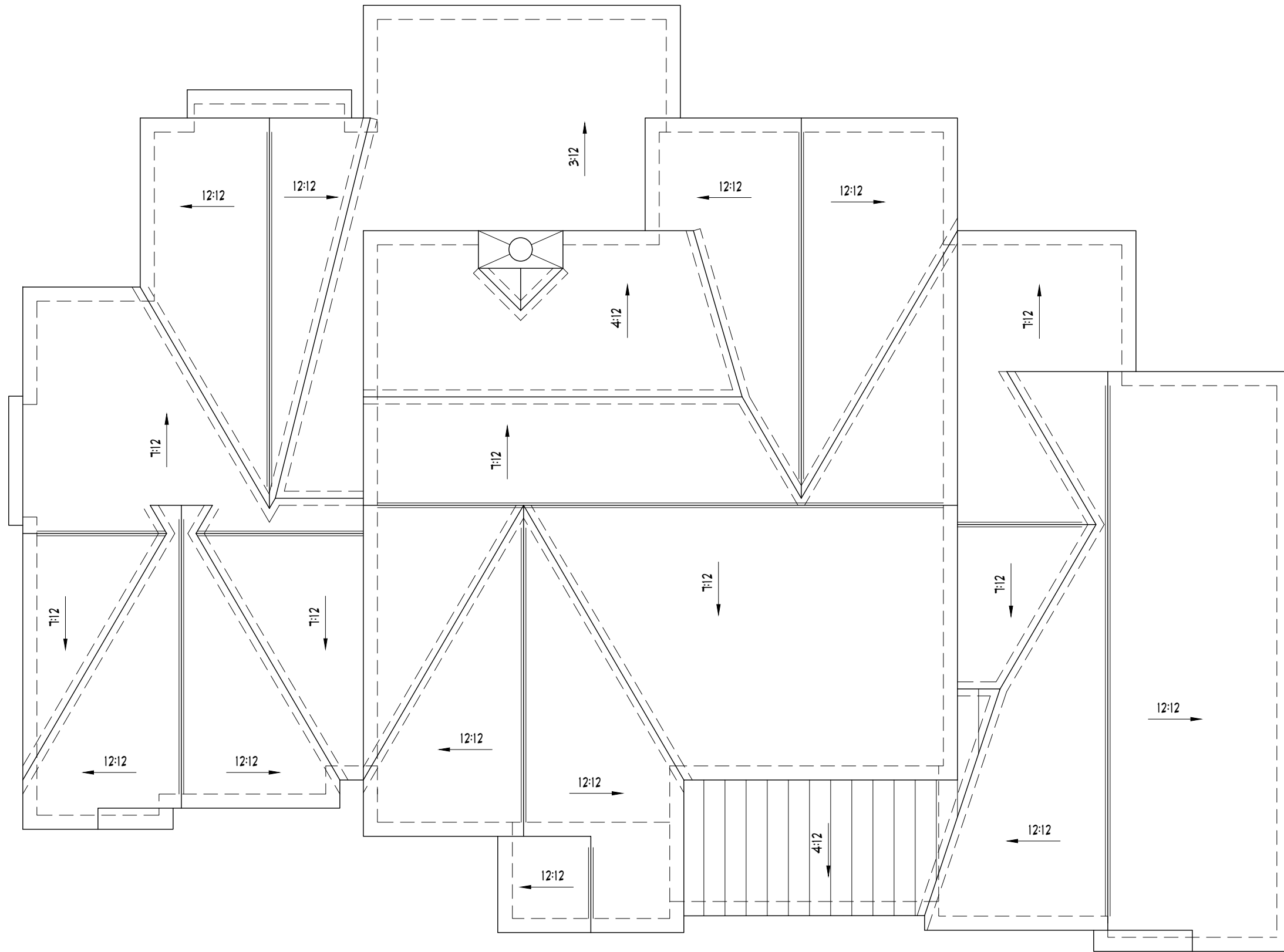
Job Number: **25-03-063**
 Date: **04/15/2026**
 Designed: HHH Sheet
 Drawn: HHH **2.1**
 Checked: MGB IMP

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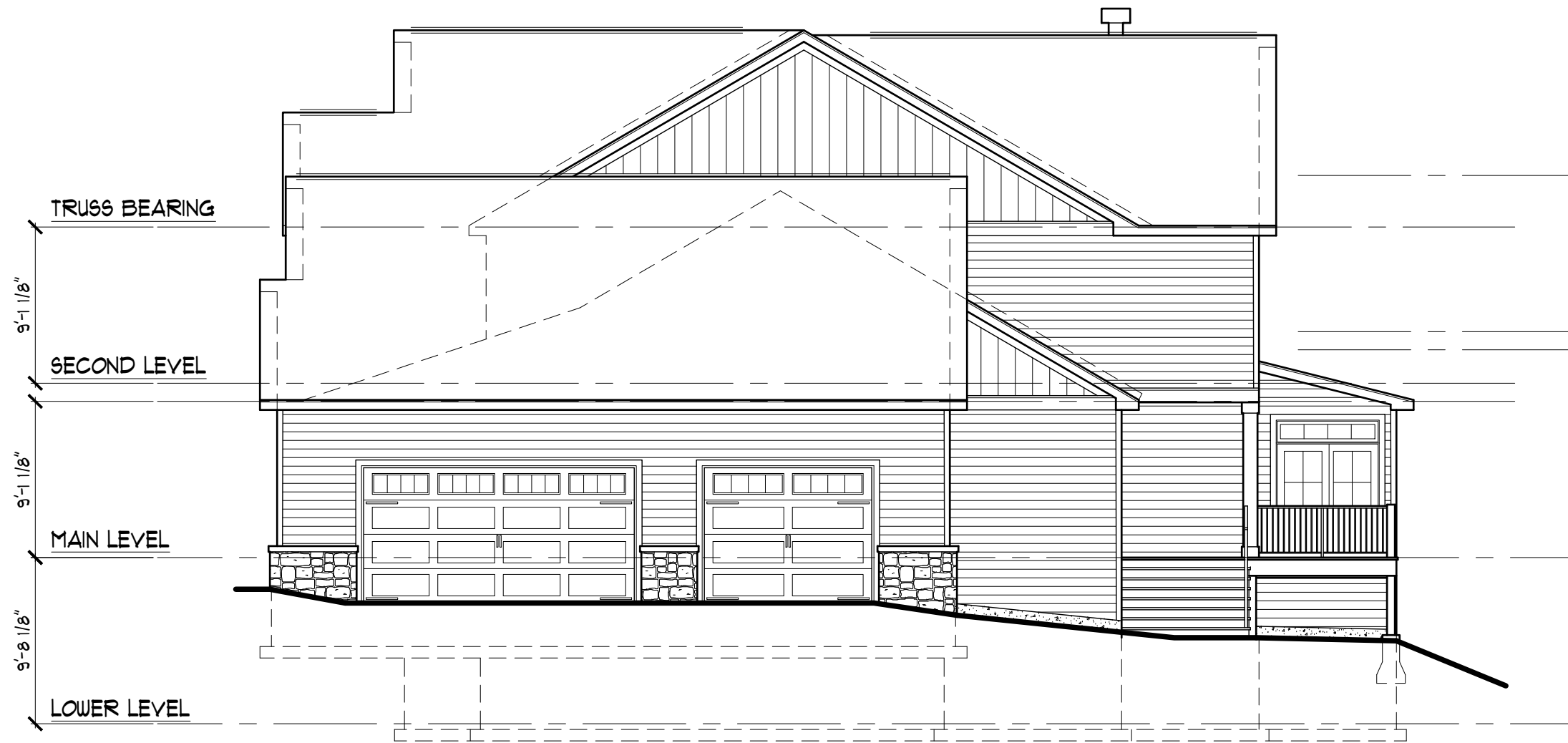






FRONT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

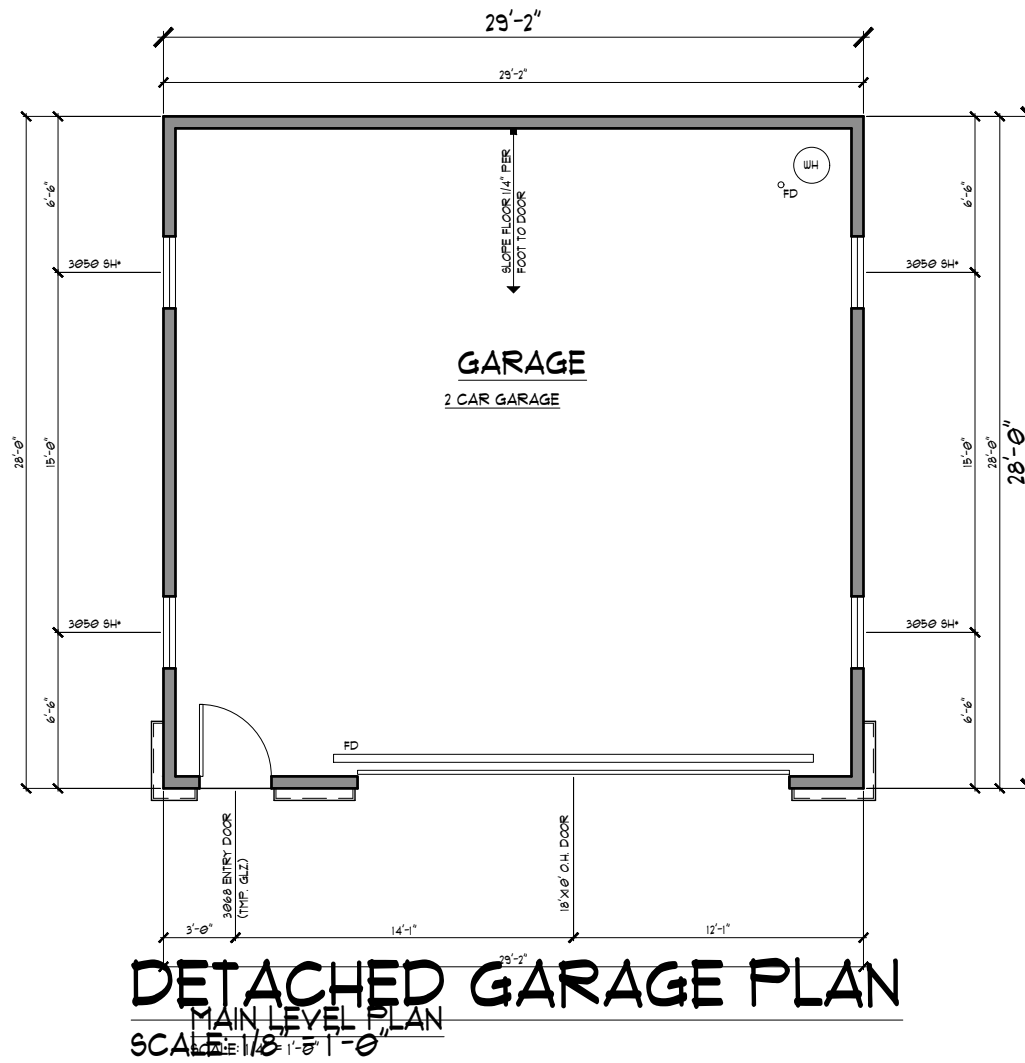


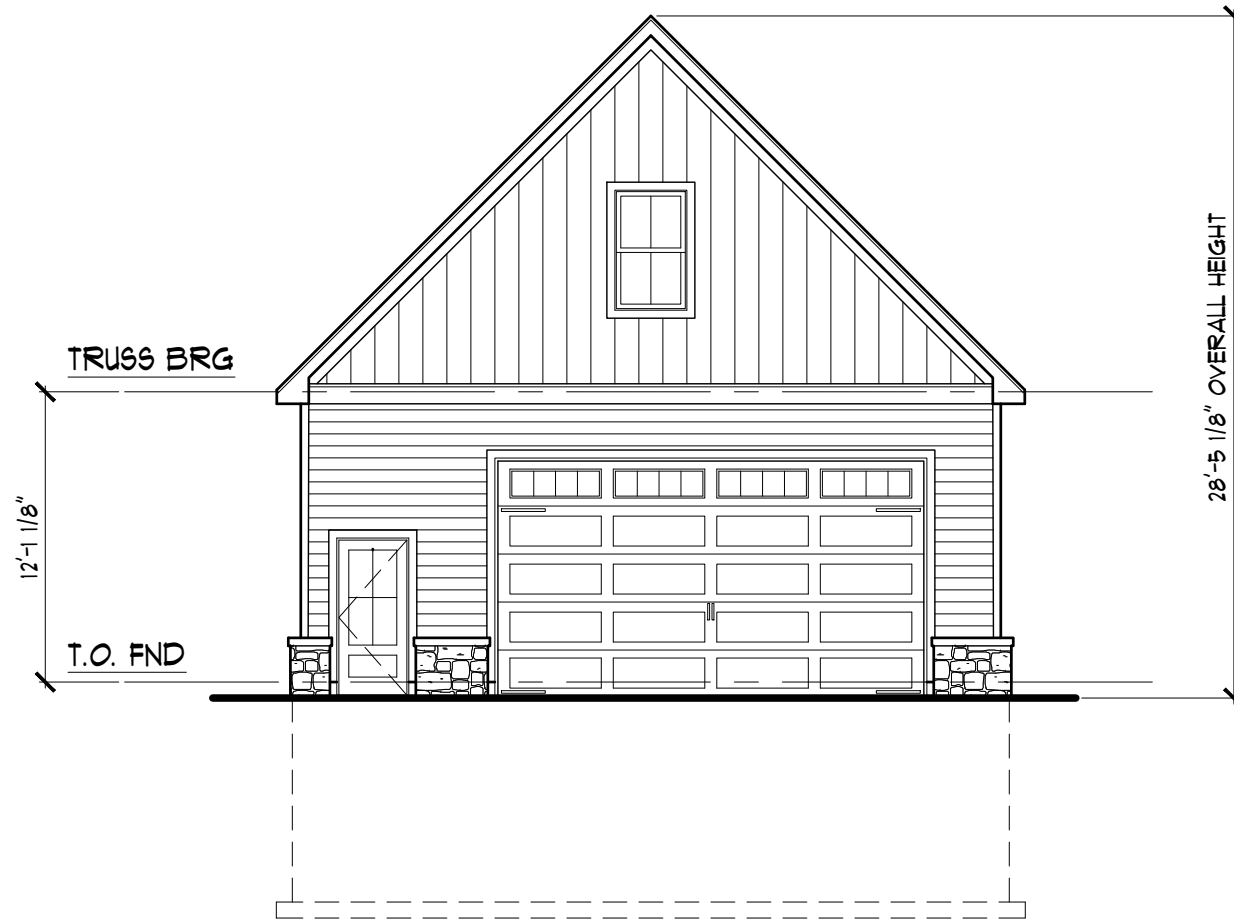
REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

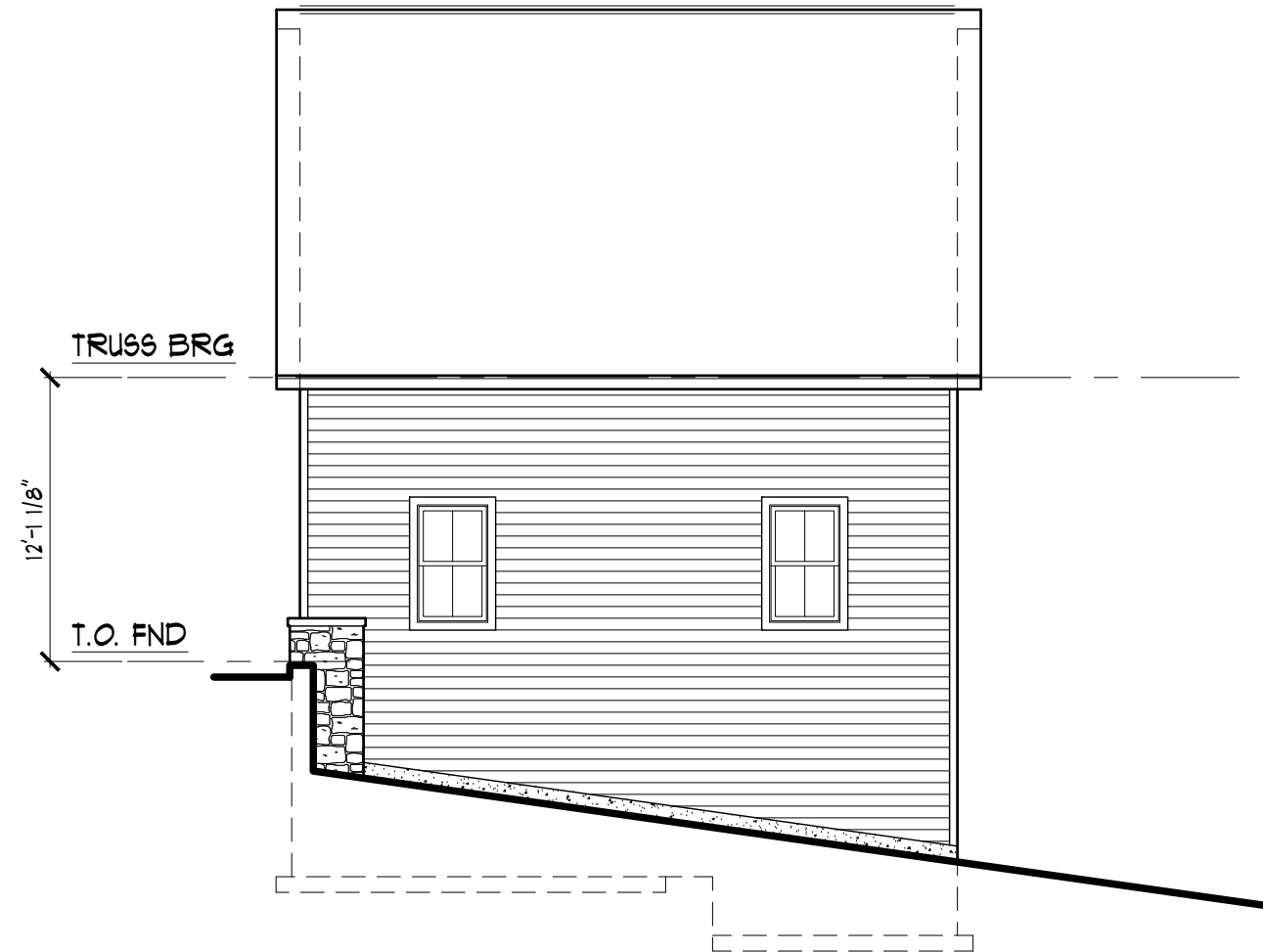
SCALE: 1/8" = 1'-0"





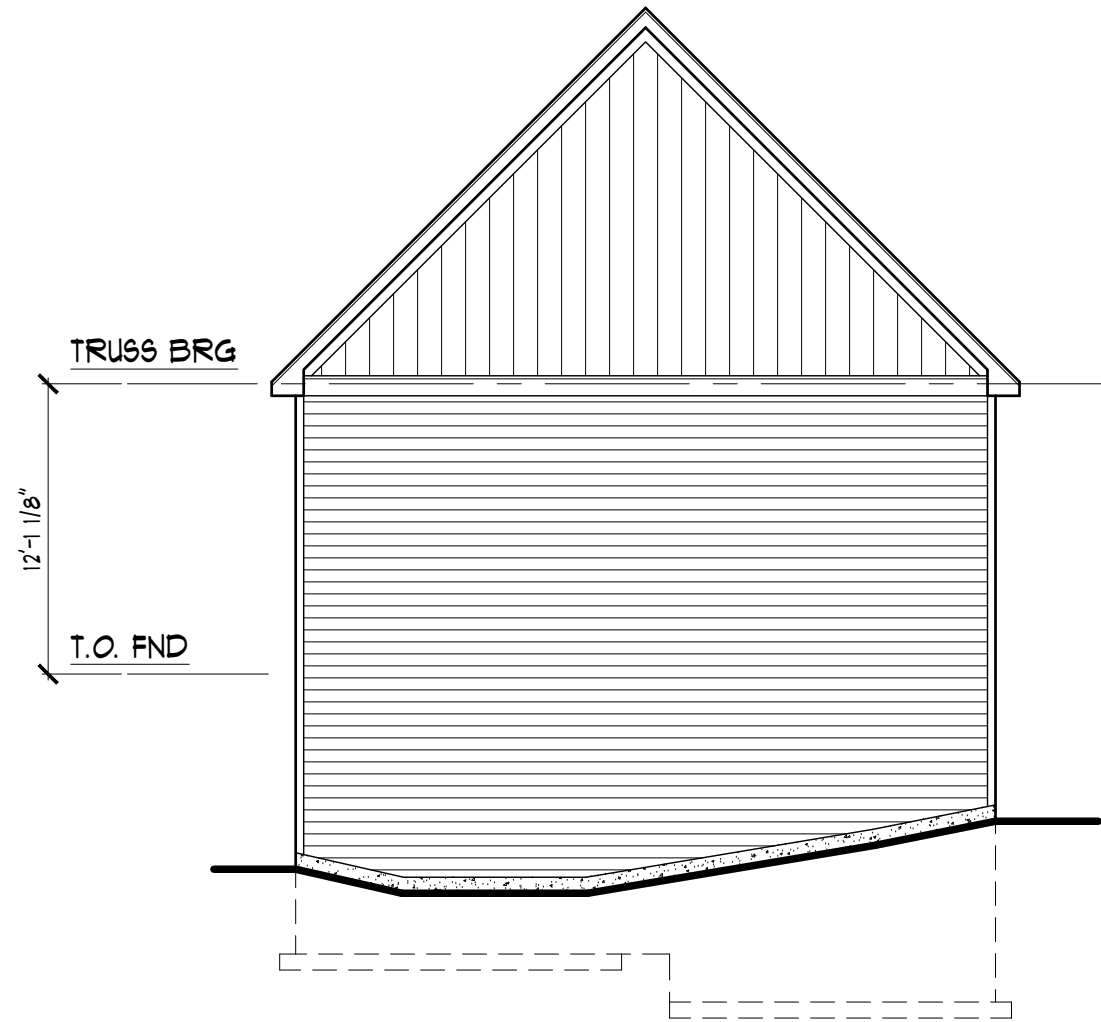
DETACHED GARAGE FRONT ELEV

SCALE: 1/8" = 1'-0"



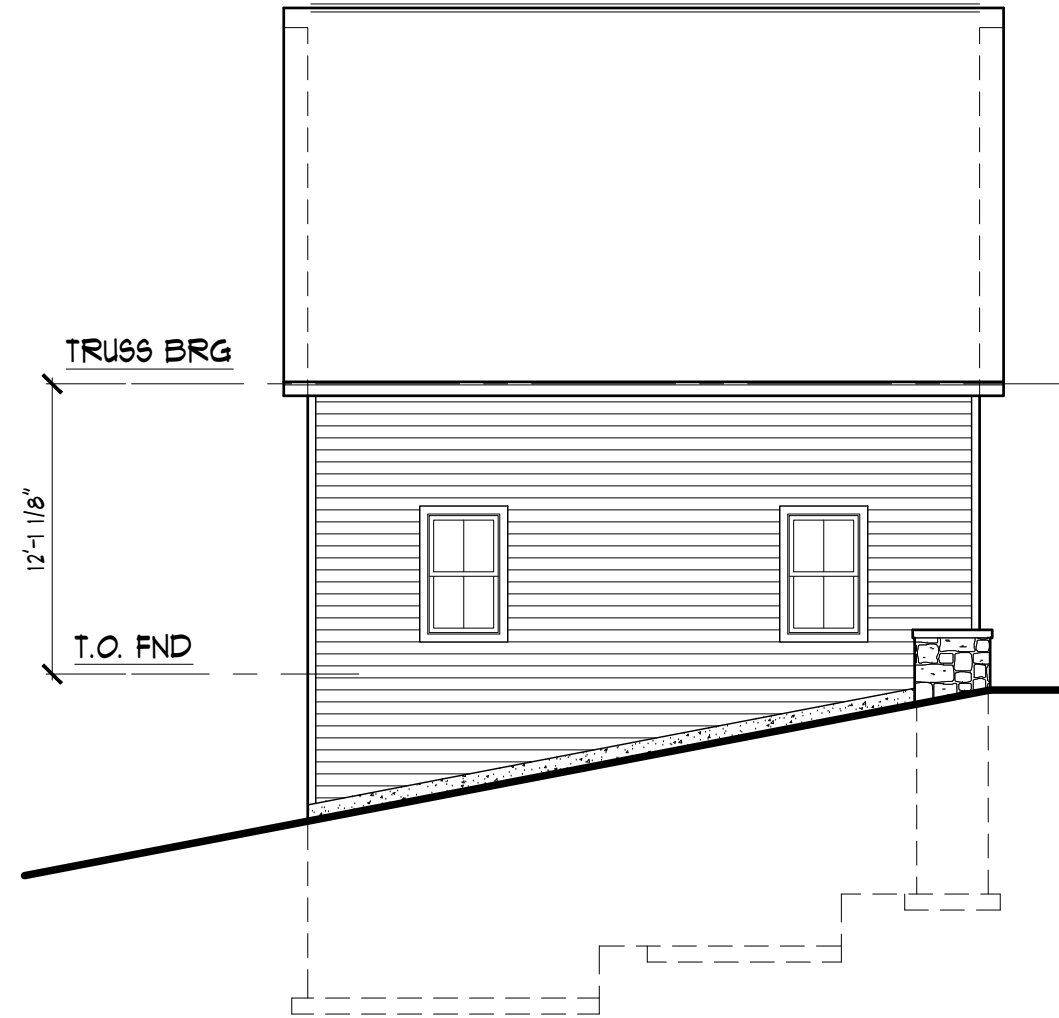
DETACHED GARAGE RIGHT ELEV

SCALE: 1/8" = 1'-0"



DETACHED GARAGE REAR ELEV

SCALE: 1/8" = 1'-0"



DETACHED GARAGE LEFT ELEV

SCALE: 1/8" = 1'-0"



NJL
CUSTOM HOMES

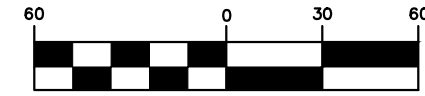
785 BISMARCK
GLENDALE, MO



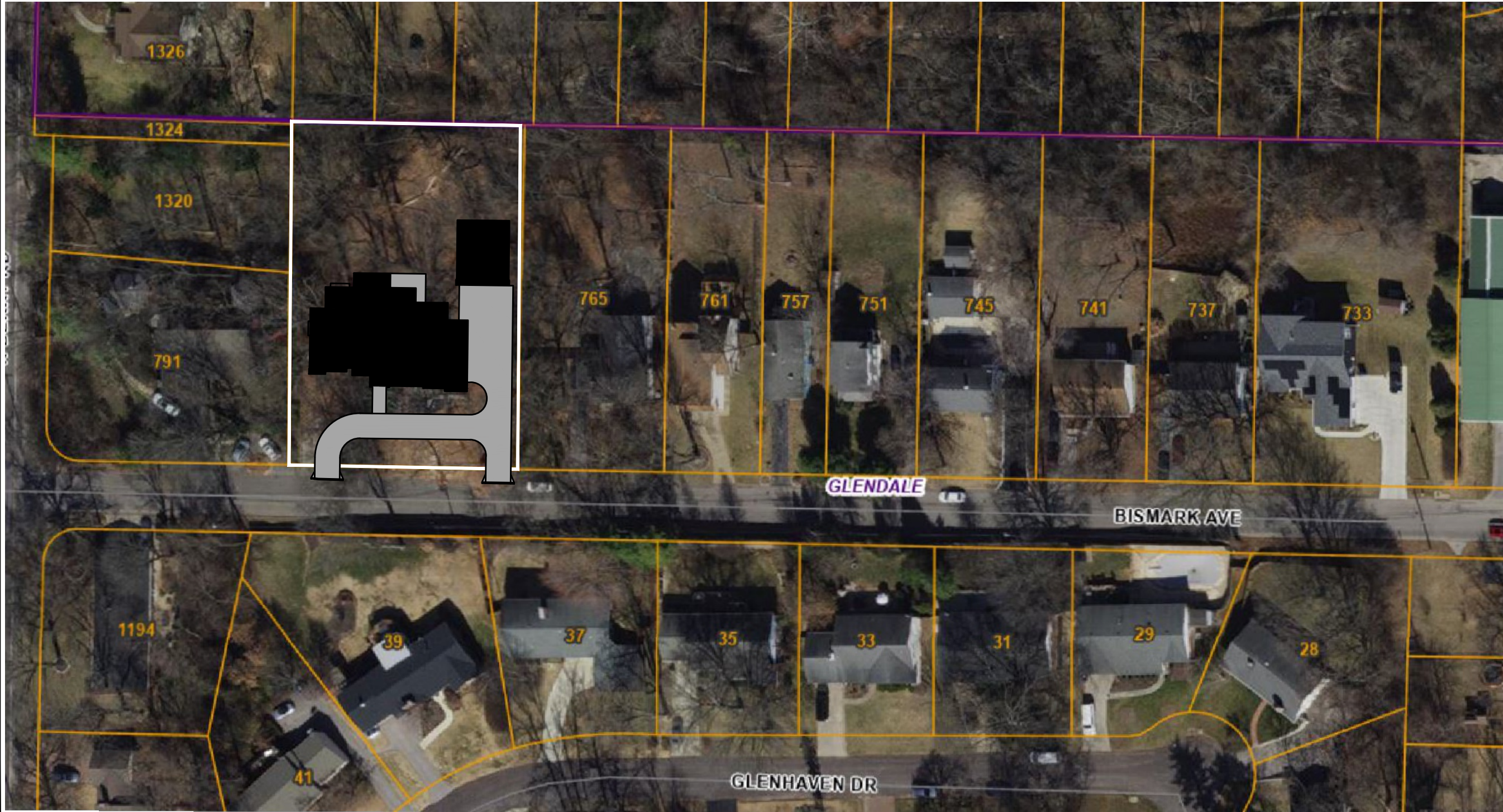
TIM HOLLERBACH
DESIGNS

1548 JEFFCO BLVD
ARNOLD, MD 63010
314-578-9470
www.timhollerbachdesigns.com

GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.



THE **STERLING** CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
(314)-487-0440 FAX 487-8944
www.sterling-eng-sur.com

M.S.D.

DRAWN: H.H.H.
DESIGNED:
CHECKED:

PROJECT: **#785 BISMARK AVENUE**

SHEET TITLE: AERIAL PHOTO PLAN

NO. 25 03 063

ISSUE SHEET
1 OF 1

785 Bismark Avenue – Streetscape



Photo 2 – 761 Bismark Ave

2 Homes down on the right side of the property



Photo 1 –757 Bismark Ave

3 Homes down on the right side of the property

785 Bismark Avenue – Streetscape

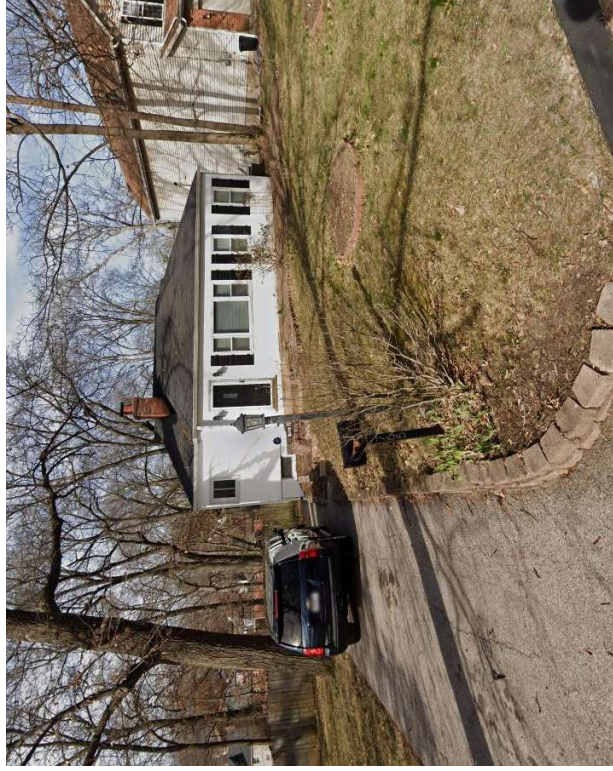


Photo 3 – 765 Bismark Ave

Home directly on the right side of the property



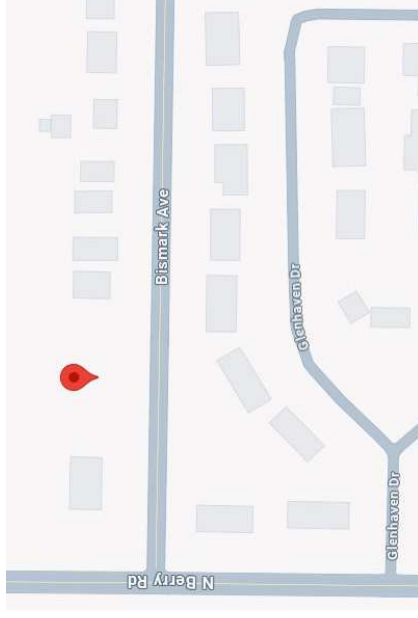
Photo 4 – Subject Property 785 Bismark Ave

785 Bismark Avenue – Streetscape



Photo 5 – 791 Bismark Ave

Home Directly next to the subject property on the left side, end of Bismark Avenue.



No homes across the street from the subject property, the street backs to the back of homes on Glenhaven Drive.



424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772 www.glendalemo.org

April 21, 2026

Dear Property Owner/Resident:

The Board of Adjustment of the City of Glendale will hold a public hearing on **May 6, 2026, at 6:00 p.m.** in the **Glendale Auditorium**, located at **424 N. Sappington Road, Glendale, MO 63122**, to consider the following appeal:

Jason and Michelle Fank have submitted an appeal requesting approval to construct a new home and detached two-car garage at their residence located at 785 Bismark Ave. The proposed location of the home would violate the stream buffer protection requirements as defined by **Chapter 462 of the Glendale Zoning Code**. Additionally, the applicants are requesting a variance from Section 400.140(A)(3) that requires a front yard setback of 42.5' from the front property line.

A copy of the plans are available for review at Glendale City Hall (open Monday-Friday, 8:00 am to 5:00 pm) or on the city's website at www.glendalemo.org/BOAprojects. Members of the public are encouraged to attend the hearing or submit written comments regarding this appeal to permits@glendalemo.org.

If you require special accommodations (e.g., for hearing impairment) to participate in the hearing, please contact **City Hall at 314-965-3600** by **April 30, 2026**, to make necessary arrangements.

Thank you,

Gabrielle Wesche
Community Engagement Officer
314-909-3023
permits@glendalemo.org

Properties Mailed the Public Notice

Name	Address	City, State	Zip
RESIDENT/OWNER	765 BISMARK AVE.	GLENDALÉ, MO	63122
RESIDENT/OWNER	9856 MADISON AVE.	St. Louis, MO	63119
RESIDENT/OWNER	9854 MADISON AVE.	St. Louis, MO	63119
RESIDENT/OWNER	9858 MADISON AVE.	St. Louis, MO	63119
RESIDENT/OWNER	9860 MADISON AVE.	St. Louis, MO	63119
RESIDENT/OWNER	1326 N BERRY RD.	St. Louis, MO	63122
RESIDENT/OWNER	791 BISMARK AVE.	GLENDALÉ, MO	63122
RESIDENT/OWNER	1320 N BERRY RD.	St. Louis, MO	63122
RESIDENT/OWNER	39 GLENHAVEN DR.	GLENDALÉ, MO	63122
RESIDENT/OWNER	37 GLENHAVEN DR.	GLENDALÉ, MO	63122
RESIDENT/OWNER	1194 N BERRY RD.	GLENDALÉ, MO	63122
RESIDENT/OWNER	41 GLENHAVEN DR.	GLENDALÉ, MO	63122

SAMPLE – APPROVAL

JUDGMENT OF BOARD OF ADJUSTMENT

CITY OF GLENDALE, MISSOURI

Hearing Date: May 6, 2026

Appellants: Jason and Michelle Fank

Address of Affected Property: 785 Bismark Ave.

Nature of Proposed Use: Construction of a new home and detached garage.

Requested Variance: Construct a new home and perform land development activities that encroach into the required 25’ natural vegetative buffer and 25’ impervious surface buffer as required by Chapter 462 of the Glendale Municipal Code.

Resolution:

WHEREAS, the Board of Adjustment of the City of Glendale, Missouri, does find and determine there is a “dashed blue line” stream as depicted on the United States Geological Survey topographic map on the above-described property; and

WHEREAS, Section 462.050 of the Glendale Municipal Code requires that for such streams, an undisturbed natural vegetative buffer of 25’ shall be maintained on both banks of the stream as measured from the top of the stream bank, and an additional buffer of 25’ in which all impervious cover is prohibited shall also be maintained; and

WHEREAS, the applicant desires to construct a new home which would be located in a manner to violate the 25’ impervious buffer setback and to perform land clearance, grading, and erosion control activities which would violate the 25’ vegetative buffer setback; and

WHEREAS, the Board finds that the property's shape, topography or other physical conditions existing at the time of the adoption of the City’s stream buffer regulations prevents land development unless a buffer variance is granted, or unusual circumstances when strict adherence to the minimal buffer requirements in the ordinance would create an extreme hardship as follows:

The lot has a steep grade, a large front yard setback and a stream that angles across the lot, which compresses the buildable area and would require the home footprint to be reduced beyond what is reasonable for the lot. The applicant’s property’s shape, topography and physical conditions existed at the time of the adoption of the stream buffer regulations, and the applicant has proposed mitigation measures to offset the effects of the proposed land development.

[And, further . . . (add further bases to grant the variance below if deemed necessary)]

NOW THEREFORE BE IT RESOLVED, that the appeal of the above applicant for a variance in the strict application of the stream buffer regulations as set forth in Section 462.050 of the Code of Ordinances **is approved** based on the findings of fact set out above.

The applicant is hereby authorized to construct a new home and detached garage pursuant to the plans dated April 15, 2026, as submitted to the City of Glendale, that would have a total encroachment not to exceed 990 square feet in the 25' vegetative buffer and a total encroachment not to exceed 3,335 square feet in the impervious surface buffer, and would include stormwater mitigation plans as shown on such plans subject to approval by the City Engineer.

The Building Commissioner of the City is instructed to act accordingly.

SAMPLE – DENIAL

JUDGMENT OF BOARD OF ADJUSTMENT

CITY OF GLENDALE, MISSOURI

Hearing Date: May 6, 2026

Appellants: Jason and Michelle Fank

Address of Affected Property: 785 Bismark Ave.

Nature of Proposed Use: Construction of a new home and detached garage.

Requested Variance: Construct a new home and perform land development activities that encroach into the required 25' natural vegetative buffer and 25' impervious surface buffer as required by Chapter 462 of the Glendale Municipal Code.

Resolution:

WHEREAS, the Board of Adjustment of the City of Glendale, Missouri, does find and determine there is a “dashed blue line” stream as depicted on the United States Geological Survey topographic map on the above-described property; and

WHEREAS, Section 462.050 of the Glendale Municipal Code requires that for such streams, an undisturbed natural vegetative buffer of 25' shall be maintained on both banks of the stream as measured from the top of the stream bank, and an additional buffer of 25' in which all impervious cover is prohibited shall also be maintained; and

WHEREAS, the applicant desires to construct a new home which would be located in a manner to violate the 25' impervious buffer setback and to perform land clearance, grading, and erosion control activities which would violate the 25' vegetative buffer setback;

WHEREAS, the Board finds that the applicant failed to demonstrate that the (1) property's shape, topography or other physical conditions existing at the time of the adoption of the City's stream buffer regulations prevents land development unless a buffer variance is granted, nor (2) are there unusual circumstances when strict adherence to the minimal buffer requirements in the ordinance which would create an extreme hardship in that a smaller home can be constructed on the property without encroaching upon the 25' impervious buffer setback or the 25' vegetative buffer setback.

NOW THEREFORE BE IT RESOLVED, that the appeal of the above applicant for a variance in the strict application of the zoning regulations ***is denied*** based on the findings of fact set out above.

The applicant is hereby not authorized to construct a new home and detached garage pursuant to the plans dated April 15, 2026, as submitted to the City of Glendale, that

would encroach into the 25' vegetative buffer and encroach into the 25' impervious surface buffer.

The Building Commissioner of the City is instructed to act accordingly.

SAMPLE – APPROVAL

JUDGMENT OF BOARD OF ADJUSTMENT

CITY OF GLENDALE, MISSOURI

Hearing Date: May 6, 2026

Appellants: Jason and Michelle Fank

Address of Affected Property: 785 Bismark Ave.

Nature of Proposed Use: Construction of a new home and detached garage.

Requested Variance: Construct a new home and perform land development activities that encroach into the front yard setback of 42.5' from the front property line buffer as required by Section 400.140(A)(3) of Chapter 462 of the Glendale Municipal Code.

Resolution:

WHEREAS, the Board of Adjustment of the City of Glendale, Missouri, has reviewed the application of Jason and Michelle Fank for a variance from the front yard setback requirements applicable to the above-described property; and

WHEREAS, Section 400.140(A)(3) of the Glendale Municipal Code requires a minimum front yard setback of 42.5 feet from the front property line; and

WHEREAS, the applicant proposes to construct a new single-family residence and detached garage that would encroach into the required front yard setback; and

WHEREAS, the Board finds that the property is subject to unique physical conditions, including its shape, topography, and other site constraints, which limit the buildable area of the lot; and

WHEREAS, the Board further finds that strict application of the front yard setback requirement would create an unnecessary hardship by unreasonably restricting the placement and size of a residence consistent with surrounding properties; and

WHEREAS, the Board finds that the hardship is not self-imposed and that the conditions upon which the request is based existed at the time of the adoption of the applicable zoning regulations; and

WHEREAS, the Board finds that granting the variance will not adversely affect the rights of adjacent property owners, will not alter the essential character of the neighborhood, and will be in harmony with the general intent of the zoning regulations; and

WHEREAS, the lot contains a stream subject to the buffer requirements in chapter 462 of the City zoning code and steep grades that limit the practical buildable area of the lot.

[And, further . . . (add further bases to grant the variance below if deemed necessary)

NOW, THEREFORE, BE IT RESOLVED, that the Board of Adjustment of the City of Glendale, Missouri, hereby approves the request of Jason and Michelle Fank for a variance from the strict application of Section 400.140(A)(3) of the Glendale Municipal Code.

The applicant is authorized to construct a new home and detached garage in accordance with the plans dated April 15, 2026, as submitted to the City, that would have a total encroachment into the required 42.5-foot front yard setback of not more than 3.35’.

The Building Commissioner of the City is hereby instructed to act in accordance with this Resolution.

SAMPLE – DENIAL

JUDGMENT OF BOARD OF ADJUSTMENT

CITY OF GLENDALE, MISSOURI

Hearing Date: May 6, 2026

Appellants: Jason and Michelle Fank

Address of Affected Property: 785 Bismark Ave.

Nature of Proposed Use: Construction of a new home and detached garage

Requested Variance: To allow construction of a new home and associated land development activities that encroach into the required 42.5-foot front yard setback from the front property line, as required by Section 400.140(A)(3) of the Glendale Municipal Code.

Resolution:

WHEREAS, the Board of Adjustment of the City of Glendale, Missouri, has reviewed the application of Jason and Michelle Fank for a variance from the front yard setback requirements applicable to the above-described property; and

WHEREAS, Section 400.140(A)(3) of the Glendale Municipal Code requires a minimum front yard setback of 42.5 feet from the front property line; and

WHEREAS, the applicant proposes to construct a new single-family residence and detached garage that would encroach into the required front yard setback; and

WHEREAS, the Board has considered the evidence presented, including the site conditions, application materials, and any public testimony; and

WHEREAS, the Board finds that the applicant has not demonstrated that the property is subject to unique physical conditions, such as shape, topography, or other extraordinary circumstances, that would justify a variance from the strict application of the zoning regulations; and

WHEREAS, the Board further finds that strict application of the front yard setback requirement does not create an unnecessary hardship, as a reasonable use of the property can be achieved in compliance with the Code; and

WHEREAS, the Board finds that any hardship asserted by the applicant is self-imposed or is the result of design preferences rather than conditions inherent to the property; and

WHEREAS, the Board finds that granting the requested variance could alter the essential character of the neighborhood and would not be in harmony with the general intent and purpose of the zoning regulations;

NOW, THEREFORE, BE IT RESOLVED, that the Board of Adjustment of the City of Glendale, Missouri, hereby denies the request of Jason and Michelle Fank for a variance from the strict application of Section 400.140(A)(3) of the Glendale Municipal Code.

BE IT FURTHER RESOLVED, that the applicant may revise the proposed plans to comply with all applicable provisions of the Glendale Municipal Code or submit a new application for consideration.

The Building Commissioner of the City is hereby instructed to act in accordance with this Resolution.